

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
APRIL 25, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

## (III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (2) Approval of minutes for the April 11, 2023 Planning and Zoning Commission meeting.

### (3) **P2023-008 (HENRY LEE)**

Consider a request by Daniel Boswell of RIV Properties on behalf of Brad Boswell of RIV Properties for the approval of a Conveyance Plat for Lots 1 & 2, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

### (4) **P2023-009 (BETHANY ROSS)**

Consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, Cambridge Estates Addition being a 6.247-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

## (V) DISCUSSION ITEMS

*These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is May 2, 2023.*

### (5) **Z2023-021 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by James Stringfellow and Bethany Rood of Stingfellow Holdings, LLC for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 405 N. Alamo Street, and take any action necessary.



- (6) **Z2023-022 (HENRY LEE)**  
 Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Dewayne Cain for the approval of a Specific Use Permit (SUP) for a Freestanding Commercial Antenna on a 0.1234-acre tract of land identified as a portion of Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 100 (PD-100) for Single-Family 1 (SF-1) and General Retail (GR) District land uses, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.
- (7) **Z2023-023 (RYAN MILLER)**  
 Hold a public hearing to discuss and consider a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) for the purpose of creating an Alcoholic Beverage Package Sales land use, and take any action necessary.
- (8) **P2023-010 (HENRY LEE)**  
 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 289 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.
- (9) **P2023-011 (HENRY LEE)**  
 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 27.465-acre portion of a larger 174.5990-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.
- (10) **P2023-012 (HENRY LEE)**  
 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.
- (11) **SP2023-013 (BETHANY ROSS)**  
 Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvalley Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205], and take any action necessary.
- (12) **SP2023-014 (BETHANY ROSS)**  
 Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.
- (13) **SP2023-015 (BETHANY ROSS)**  
 Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive, and take any action necessary.
- (14) **SP2023-016 (HENRY LEE)**  
 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97)

[Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

(15) **SP2023-017 (BETHANY ROSS)**

Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a *Site Plan* for a *retail shopping center and house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

(16) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2023-006: Final Plat for Lots 1-3, Block A, Wallace Addition **(APPROVED)**
- P2023-008: Final Plat for the Terraces Subdivision **(APPROVED)**
- Z2023-014: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 512 Dickey Street **(1<sup>ST</sup> READING; APPROVED)**
- Z2023-015: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 223 Russell Drive **(1<sup>ST</sup> READING; APPROVED)**
- Z2023-016: Specific Use Permit (SUP) for a *Bail Bond Service* at 1901 S. Goliad Street **(DENIED)**
- Z2023-017: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 711 Parks Avenue **(1<sup>ST</sup> READING; APPROVED)**
- Z2023-019: Text Amendment for the *Credit Access Business Land Use* **(APPROVED; 1<sup>ST</sup> READING)**
- Z2023-020: Comprehensive Plan Amendment to Update the Master Thoroughfare Plan (MTP) **(APPROVED; 1<sup>ST</sup> READING)**

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning Technician for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 21, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
APRIL 11, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT  
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR  
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT  
5 FORM ON THE CITY'S WEBSITE.  
6

7 I. CALL TO ORDER

8 **Chairman Thomas Called the meeting to order at 6:01PM. Commissioners present were Brian Llewelyn, Derek Deckard, Ross Hustings, Jerry Welch**  
9 **and Jean Conway. Absent from the meeting was Commissioner John Womble. Staff members present were Director of Planning and Zoning Ryan**  
10 **Miller, Planners Bethany Ross and Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy**  
11 **Williams and Civil Engineer Sara Johnston. Absent from the meeting was Assistant City Engineer Jonathan Browning.**  
12

13 II. APPOINTMENTS

14  
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
16 the agenda requiring architectural review.  
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18 **Director of Planning and Zoning Ryan Miller advised that the case manager would go over the case when they presented it.**  
19

20 III. OPEN FORUM

21  
22 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
23 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
24 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
25 *Act.*  
26

27 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time; there being no one**  
28 **indicating such, Chairman Thomas closed the open forum.**  
29

30 IV. CONSENT AGENDA

31  
32 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
33 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
34

35 2. Approval of minutes for the March 28, 2023 Planning and Zoning Commission meeting.  
36

37 3. **P2023-006 (BETHANY ROSS)**

38 Discuss and consider a request by Matthew Deyermond on behalf of Donald Wallace for the approval of a Final Plat for Lots 1-3, Block A, Wallace Addition  
39 being a 8.17-acre tract of land being identified as all of Tracts 45-02 & 45-07 and a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 80 of Rockwall,  
40 Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, generally located on the northside of Wallace Lane, and take any action necessary.  
41

42 4. **P2023-007 (HENRY LEE)**

43 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Final Plat for  
44 the Terraces Subdivision consisting of 181 single-family residential lots on a 94.144-acre tract of land being identified as a portion of Tract 4 & 4-01 of the M. B.  
45 Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall  
46 County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the  
47 SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.  
48

49 5. **SP2023-010 (BETHANY ROSS)**

50 Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Howard Barrett for the approval of a Site Plan to convert two (2)  
51 single-family homes to office buildings on a 1.60-acre tract of land identified as Lots 1 & 2 of the Greenvally Addition and Tract 32 of the H. B. Jones Survey,  
52 Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within  
53 the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [SH-205], and take any action necessary.  
54

55 6. **SP2023-012 (HENRY LEE)**

56 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Site Plan for  
57 the Terraces Subdivision consisting of 181 single-family residential lots on a 94.144-acre tract of land being identified as a portion of Tract 4 & 4-01 of the M. B.  
58 Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall  
59 County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the  
60 SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.  
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62 **Vice-Chairman Deckard made a motion to pass the consent agenda. Commissioner Conway seconded the motion which passed by a vote of 6-0.**

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64 V. PUBLIC HEARING ITEMS

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66  
67 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
68 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*  
69 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*  
70 *to three (3) minutes out of respect for the time of other citizens.*  
71

72 7. Z2023-014 (ANGELICA GUEVARA)

73 Hold a public hearing to discuss and consider a request by Julius Waffer for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established  
74 Subdivision on a 1.0620-acre parcel of land identified as Lot 22 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7)  
75 District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 512 Dickey Street, and take any action necessary.

76  
77 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP)**  
78 **to construct a single-family home. The proposal does meet all of the density and dimensional requirements for the home within the Single-Family 7**  
79 **(SF-7) District with the exception of the garage orientation. Staff would like to note that since the home is in the Southside Residential Neighborhood**  
80 **Overly District, the applicant does qualify for a grant up to a thousand dollars (\$1,000.00). Staff did mail forty-seven (47) notices to property owners**  
81 **and occupants within 500-feet of subject property and, at this time, staff had only received one (1) notice in favor of the proposal.**

82  
83 **Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating**  
84 **such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.**

85  
86 **Commissioner Welch made a motion to approve Z2023-014 with staff recommendations. Commissioner Hustings seconded the motion which passed**  
87 **by a vote of 6-0.**

88  
89 **Chairman Thomas advised that this item will go before City Council on April 17, 2023.**  
90

91 8. Z2023-015 (ANGELICA GUEVARA)

92 Hold a public hearing to discuss and consider a request by Martha Balleza and Ana Quezada for the approval of a Specific Use Permit (SUP) for Residential  
93 Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall  
94 County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 223 Russell Drive, and take any action  
95 necessary.

96  
97 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP)**  
98 **to construct a single-family home on the property. The proposed home does meet all the density and dimensional requirements for a home in Planned**  
99 **Development District 75 (PD-75) with the exception of the garage orientation. Staff also mailed out 147 notices to property owners and occupants**  
100 **within five hundred feet of the subject property. At this time, Staff had only received one (1) notice in favor for the request.**

101  
102 **Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating**  
103 **such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.**

104  
105 **Commissioner Llewelyn made a motion to approve Z2023-015. Commissioner Conway seconded the motion which passed by a vote of 6-0.**  
106

107 **Chairman Thomas advised that this item will go before City Council on April 17, 2023.**  
108

109 9. Z2023-016 (HENRY LEE)

110 Hold a public hearing to discuss and consider a request by Johnathan Martinez on behalf of Donna C. Pritchard for the approval of a Specific Use Permit (SUP)  
111 allowing a Bail Bond Service on a 0.423-acre parcel of land identified as Lot 1, Block 1, Garland Federal Savings & Loan Addition, City of Rockwall, Rockwall  
112 County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1901 S. Goliad Street [SH-205], and take  
113 any action necessary.

114  
115 **Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for a bail bond service**  
116 **on the subject property. According to the applicant's letter, they currently will have four (4) employees who will work in the location and will operate**  
117 **seven days a week from 8AM-8PM with phone lines staying open for 24 hours a day. The purpose for the SUP is to allow discretionary consideration**  
118 **for specific uses to determine whether they're appropriate in all parts of a zoning district. Staff should note that there is another bail bond service**  
119 **on the lot to the north east of the subject property. With that being said, this is still a discretionary decision for the Planning & Zoning Commission.**  
120 **On March 21<sup>st</sup>, staff mailed out 34 notices to property owners and occupants within 500-feet of the subject property and notified the Waterstone**  
121 **Homeowners Association. At this time, staff had received four (4) notices in opposition and one (1) notice in favor of the applicant's request. Planner**  
122 **lee noted that the four (4) notices in opposition were from the adjacent commercial owners.**

123  
124 **Johnathan Martinez**  
125 **Dallas, TX**

126  
127 **Mr. Martinez came forward and provided additional details in regards to his request.**  
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129 **Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating**  
130 **such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.**

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Vice-Chairman Deckard asked what zoning allows a bail bond service.

Commissioner Conway wanted clarification on the location of the other bail bond service.

Commissioner Hustings asked where the other bail bond offices were located.

Commissioner Conway made the motion to deny Z2023-016. Vice-Chairman Deckard seconded the motion which passed by a vote of 6-0.

Chairman Thomas advised that this item will go before City Council on April 17, 2023.

10. Z2023-017 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Javier Silva on behalf of Nixon Estate and Judy Wible the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.16-acre parcel of land identified as Lot 11, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 711 Parks Avenue, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for the construction of a single-family home within an established subdivision. The applicant's request does meet all the density and dimensional requirements for a home located in the Single-Family 7 (SF-7) District with the exception of the garage orientation. Planner Lee advised that approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning & Zoning Commission finding that the proposed house does not have a negative impact to the existing subdivision. On March 21<sup>st</sup>, staff sent out 115 notices to property owners and occupants within 500-feet of subject property. At this time, staff had only received two (2) notices from one (1) property owner in favor of the applicant's request.

Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Conway made the motion to approve Z2023-017. Vice-Chairman Deckard seconded the motion which passed by a vote of 6-0.

Chairman Thomas advised that this item will go before City Council on April 17, 2023.

11. Z2023-019 (RYAN MILLER)

Hold a public hearing to discuss and consider a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) to create a Credit Access Business land use, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards the the request. The Texas Finance Code defines a Credit Access Business as a credit service organization that obtains for a consumer or assists the consumer in obtaining an extension of consumer credit in a form of payment transaction or motor vehicle title loan. Examples of this type of business would be pay day lending or auto title loans. Staff ants to make sure that they are able to address the land use before it comes in. The other concern for wanting to have regulations in place is this type of business tend to proliferate in high visibility intersections within shopping centers. Staff prepared an ordinance where it has taken a credit access business and allowed it in all the same districts where we currently allow a financial institution without a drive-through. Staff also added conditional land use standards where they cannot be within 1,000 ft of any like business or credit access business to prevent the proliferation in a shopping center or a major intersection. Also, a requirement was added that they cannot be within 500-feet of a residentially zoned property, public school or existing daycare.

Commissioner Welch asked if there's a difference between cash and check places verses a credit repair.

Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.

Vice-Chairman Deckard made the motion to approve Z2023-019. Commissioner Welch seconded the motion which passed by a vote of 6-0.

Chairman Thomas advised that this item will go before City Council on April 17, 2023.

12. Z2023-020 (RYAN MILLER)

Hold a public hearing to discuss and consider an Amendment to the Comprehensive Plan for the purpose of adopting changes to the Master Thoroughfare Plan contained in Appendix 'C', Maps, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards the request. In January, 2022. Staff began the process of looking over the Master Thoroughfare Plan and engaged with Freese & Nichols who is our preferred professional services engineer for this work. Due to some constraints with the COG's model, the project ended up getting delayed. However, recently the consultant did finish the report and provided several recommendations to the City which were taken to City Council who directed us to move forward with the Comprehensive Plan amendment process. This being a Comprehensive Plan amendment, Staff is required to take it to public hearings at both Planning & Zoning Commission and City Council. It is the role of the Planning & Zoning Commission to provide a recommendation to City Council concerning the proposed changes. Director Miller stated that staff did send out proper notices and advertisements for the case and advised that Staff is available for any questions.

Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Welch made a motion to approve Z2023-020. Commissioner Conway seconded the motion which passed by a vote of 6-0.



199 Chairman Thomas advised that this item will go before City Council on April 17, 2023.

200

201 VI. ACTION ITEMS

202

203 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
204 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

205

206 13. **SP2023-011 (BETHANY ROSS)**

207 Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Campfire Shops, LLC for the approval of a Site Plan for a *Carwash* and  
208 *Commercial/Retail Shopping Center* on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County,  
209 Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest  
210 Drive, and take any action necessary.

211

212 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting approval of a site plan for the development**  
213 **of a car wash and commercial retail shopping center. The applicant's site plan does meet all of the Commercial District standards and Overlay District**  
214 **standards with the exception of the roof pitch standard. Planner Ross added that the Architectural Review Board (ARB) did approve the building**  
215 **elevations unanimously. She also explained that the applicant also provided an extra 5-inch canopy tree and additional shrubbery around the vacuum**  
216 **base as a compensatory measure for that variance. Planner Ross then advised that Staff and the applicant were available for any questions.**

217

218 **Chairman Thomas asked if there were any other variances associated with the request.**

219

220 **Paul Cragun**  
221 **2080 North Hwy 360**  
222 **Grand Prairie, TX 75050**

223

224 **Mr. Cragun came forward and provided additional details in regards to the request.**

225

226 **Chairman Thomas made a motion to approve SP2023-011 with staff recommendations. Commissioner Conway seconded the motion which passed**  
227 **by a vote of 6-0.**

228

229 VII. DISCUSSION ITEMS

230

231 14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

232

- 233 • P2023-005: Replat for Lots 8-10, Block A, Sky Ridge Addition [APPROVED]
- 234 • Z2023-009: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and *Detached Garage* at 504 Nash Street [APPROVED; 2<sup>ND</sup> READING]
- 235 • Z2023-010: Zoning Change (AG to LI) for 1760 Airport Road [APPROVED; 2<sup>ND</sup> READING]
- 236 • Z2023-011: SUP for a *Residential Infill in an Established Subdivision* for 104 Glenn Avenue [APPROVED; 2<sup>ND</sup> READING]
- 237 • Z2023-012: Specific Use Permit (SUP) for a *Detached Garage* at 2333 Saddlebrook Lane [APPROVED; 2<sup>ND</sup> READING]
- 238 • Z2023-013: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 118 Blanche Drive [APPROVED; 2<sup>ND</sup> READING]
- 239 • Subdivision Ordinance [APPROVED; 2<sup>ND</sup> READING]

240

241 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the city council meeting.**

242

243 VIII. ADJOURNMENT

244

245 **Chairman Thomas adjourned the meeting at 6:36 pm.**

246

247 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
248 \_\_\_\_\_, 2023.

249

250

251

\_\_\_\_\_  
Sedric Thomas, Chairman

252

253

254

\_\_\_\_\_  
Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 25, 2023  
**APPLICANT:** Daniel Boswell; *RIV Properties LLC*  
**CASE NUMBER:** P2023-008; *Conveyance Plat for Lots 1-3, Block A, George Morton Estate Addition*

---

### SUMMARY

Consider a request by Daniel Boswell of RIV Properties on behalf of Brad Boswell of RIV Properties for the approval of a Conveyance Plat for Lots 1-3, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Conveyance Plat for a 3.59-acre parcel of land (*i.e. Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition*) for the purpose of creating three (3) parcels of land (*i.e. Lot 1-3, Block A, George Morton Estate Addition*). Currently, the subject property is vacant and divided into 27 separate lots. The applicant is requesting the Conveyance Plat in order to assemble the land into three (3) lots for future development on Lots 1 & 2, and Lot 3 being an open space lot. In addition, the applicant is proposing to dedicate right-of-way for Glen Hill Way and Pinnacle Drive, and is incorporating portions of the City's excess right-of-way in exchange for these proposed dedications.
- Background. The City Council annexed the subject property into the City of Rockwall on November 7, 1960 through the adoption of *Ordinance No. 60-03*. Upon annexation, the subject property was zoned Agricultural (AG) District. On December 7, 1966, the subject property was platted into its current configuration as part of the George Morton Estate Addition. Based on the May 16, 1983 and December 7, 1993 *Historic Zoning Maps*, at some point between these dates portions of the subject property adjacent to Horizon Road [*FM-3097*] were rezoned to General Retail (GR) District. On June 19, 1989, portions of the subject property were also rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 89-20*]. The PD-32 ordinance was amended four (4) times by *Ordinance No.'s 89-20, 02-55, 08-11, & 10-21*. On March 7, 2022, the City Council approved a *PD Development Plan* [*Ordinance No. 22-10*] for the subject property. The *PD Development Plan* was amended twice by *Ordinance No.'s 22-36 & 23-05*. On March 14, the Planning and Zoning Commission approved a *Site Plan* [*Case No. SP2023-008*] to allow the construction of a 176-unit condominium building on the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Conveyance Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the Conveyance Plat for *Lots 1-3, Block A, George Morton Estate Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Conveyance Plat; and,
- (2) Any construction resulting from the approval of this Conveyance Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: P2023-008  
PROJECT NAME: P2023-008 George Morton Estate  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Consider a request by Daniel Boswell of RIV Properties on behalf of Brad Boswell of RIV Properties for the approval of a Conveyance Plat for Lots 1 & 2, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Daniel Boswell of RIV Properties on behalf of Brad Boswell of RIV Properties for the approval of a Conveyance Plat for Lots 1-3, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-008) in the lower right-hand corner of all pages on future submittals.

M.4 Please provide a vicinity map. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.5 Lot 3 does not meet the dimensional requirements for Planned Development District 32 (PD-32). To allow Lot 3 to remain, please indicate it as open space. This lot has potential to be a pocket park, which achieves a policy within Planned Development District 32 (PD-32) and could be used to bring the project closer into conformance with the District. For questions please contact staff. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please make the follow changes to the Owner's Certificate due to differences between the plat, Owner's Certificate, and the line and curve tables:

1. C2 length shown as both 44.6 and 44.61
2. L14 distance shown as both 28.53 and 40.12
3. L19 direction is inconsistent
4. L20 distance is inconsistent

M.7 Please remove the preliminary language from the surveyor's signature block. A notary is not required for the surveyor, their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 The subdivision ordinance has been updated, which has caused changes to the platting language required on the plat. Please review the subdivision ordinance attached to the provided email. Please review Sections 38-7 and 38-9 to ensure all of the platting information is correct. Information to review is the Owner's Certification, all signature blocks, public improvement statement, and the storm drainage improvement statement. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.9 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: April 25, 2023  
 City Council: May 1, 2023

I.10 Please note that once the Conveyance Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

04/20/2023: - Show the ROW dedication along Pinnacle Way.  
 - Show the existing drainage easement on Summer Lee.  
 - See attached markup.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved

No Comments

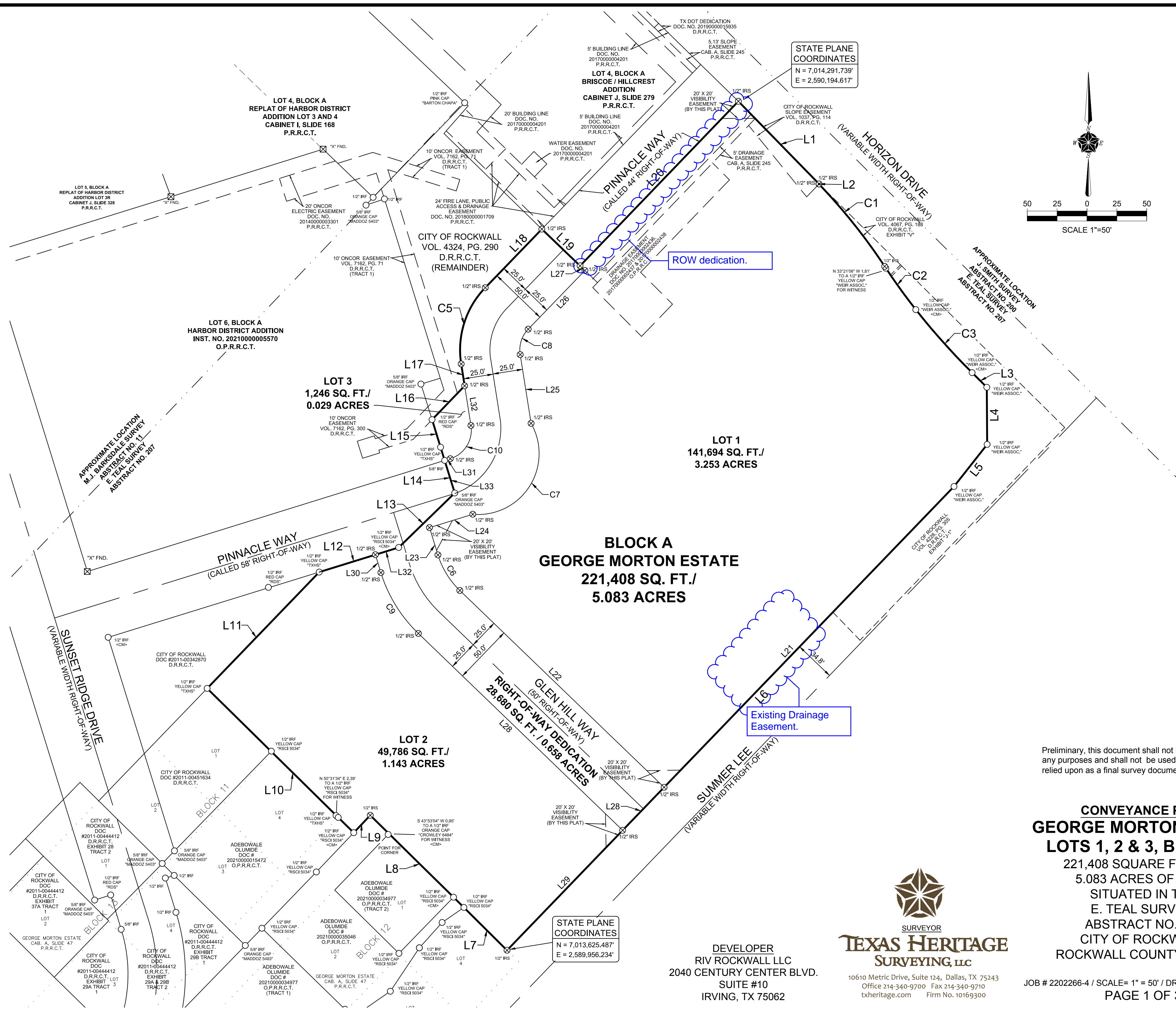
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/14/2023	Approved

No Comments

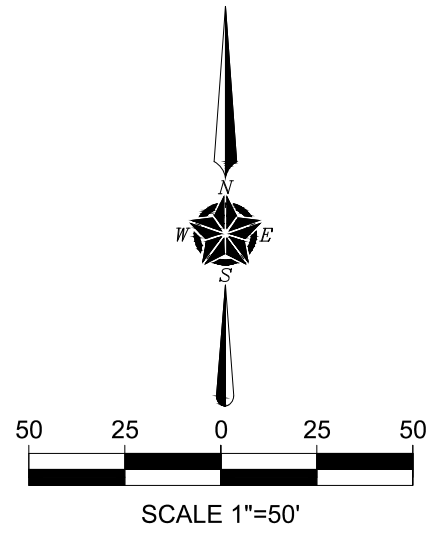
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

No Comments





STATE PLANE  
COORDINATES  
N = 7,014,291.739'  
E = 2,590,194.617'



ROW dedication.

Existing Drainage  
Easement.

**BLOCK A  
GEORGE MORTON ESTATE  
221,408 SQ. FT./  
5.083 ACRES**

Preliminary, this document shall not be recorded for any purposes and shall not be used or viewed or relied upon as a final survey document. (04/17/2023)

**CONVEYANCE PLAT  
GEORGE MORTON ESTATE  
LOTS 1, 2 & 3, BLOCK A**  
221,408 SQUARE FEET OR  
5.083 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS



**TEXAS HERITAGE  
SURVEYING, LLC**

10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

**DEVELOPER**  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062

STATE PLANE  
COORDINATES  
N = 7,013,625.487'  
E = 2,589,956.234'



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

19924 Moton ~~Plat~~ <sup>Legal Description</sup>

SUBDIVISION

George Morton Estate

LOT

1,2,3,4

BLOCK

2

GENERAL LOCATION

Corner of Summer Lee & Horizon Drive

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-32

CURRENT USE

Undeveloped

PROPOSED ZONING

PD-32

PROPOSED USE

Condominium

ACREAGE

1.413

LOTS [CURRENT]

n/a

LOTS [PROPOSED]

n/a

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

RIV Rockwall LLC

APPLICANT

RIV Rockwall LLC

CONTACT PERSON

Brad Boswell

CONTACT PERSON

Daniel Boswell

ADDRESS

2040 Century Center Blvd.  
Suite 10

ADDRESS

2040 Century Center Blvd  
Suite 10

CITY, STATE & ZIP

Irving, TX, 75062

CITY, STATE & ZIP

Irving, TX, 75062

PHONE

214-493-3346

PHONE

817-504-2231

E-MAIL

bboswell@psg-dallas.com

E-MAIL

dwboswell@psg-dallas.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brad Boswell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

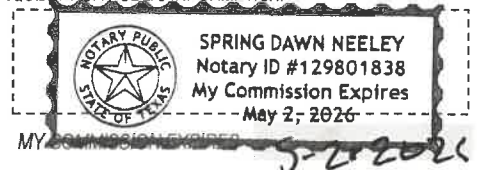
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 05th DAY OF February, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 05th DAY OF February, 2023

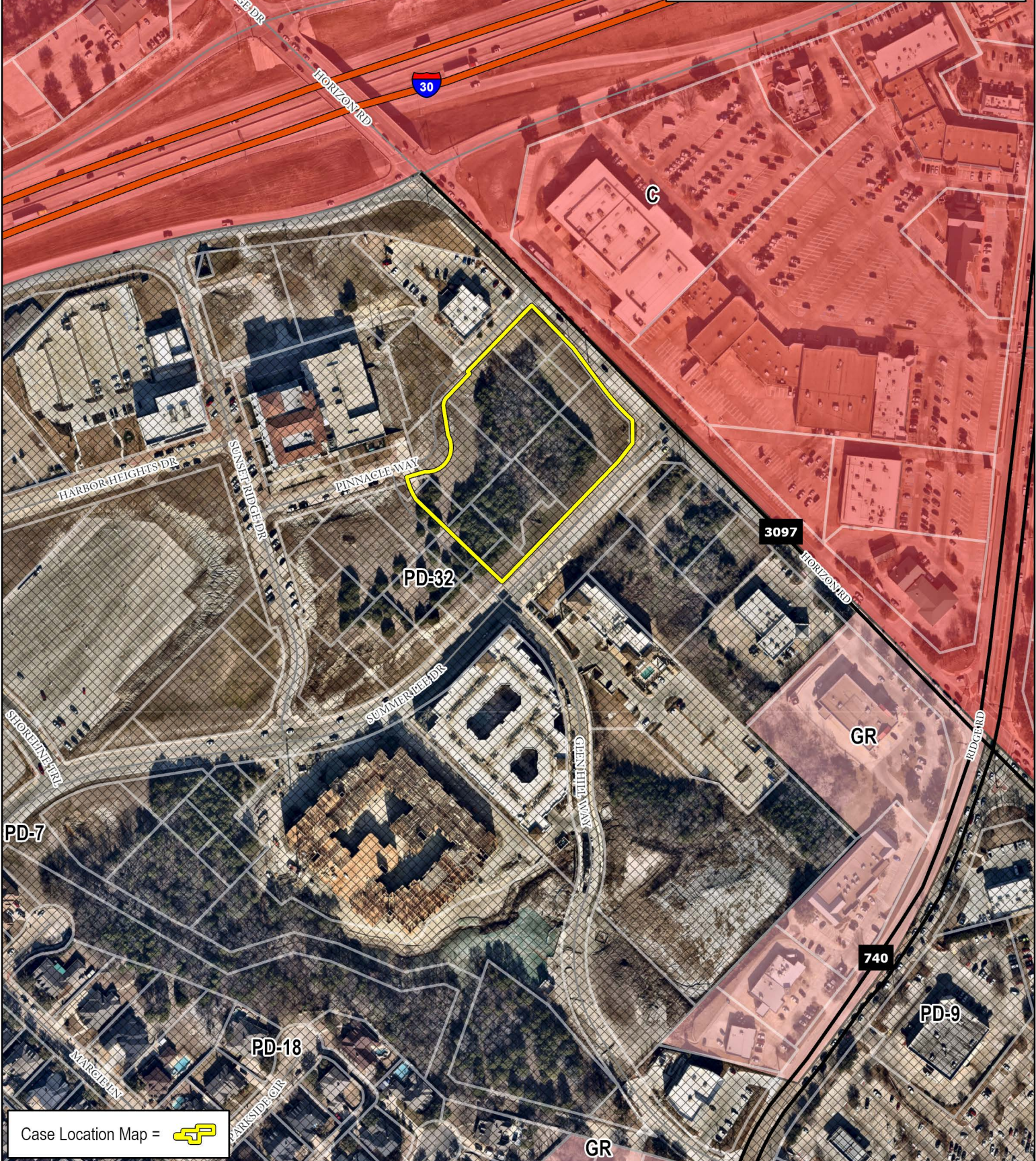
OWNER'S SIGNATURE


*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map = 



# City of Rockwall

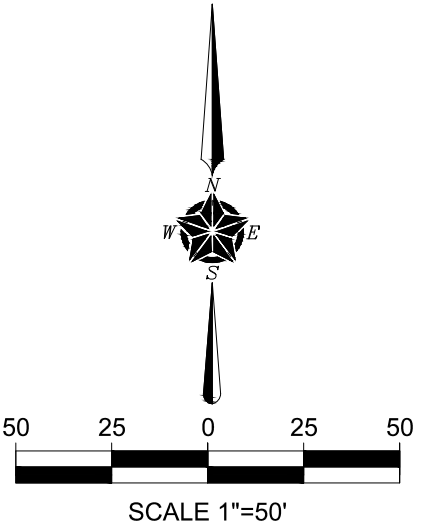
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





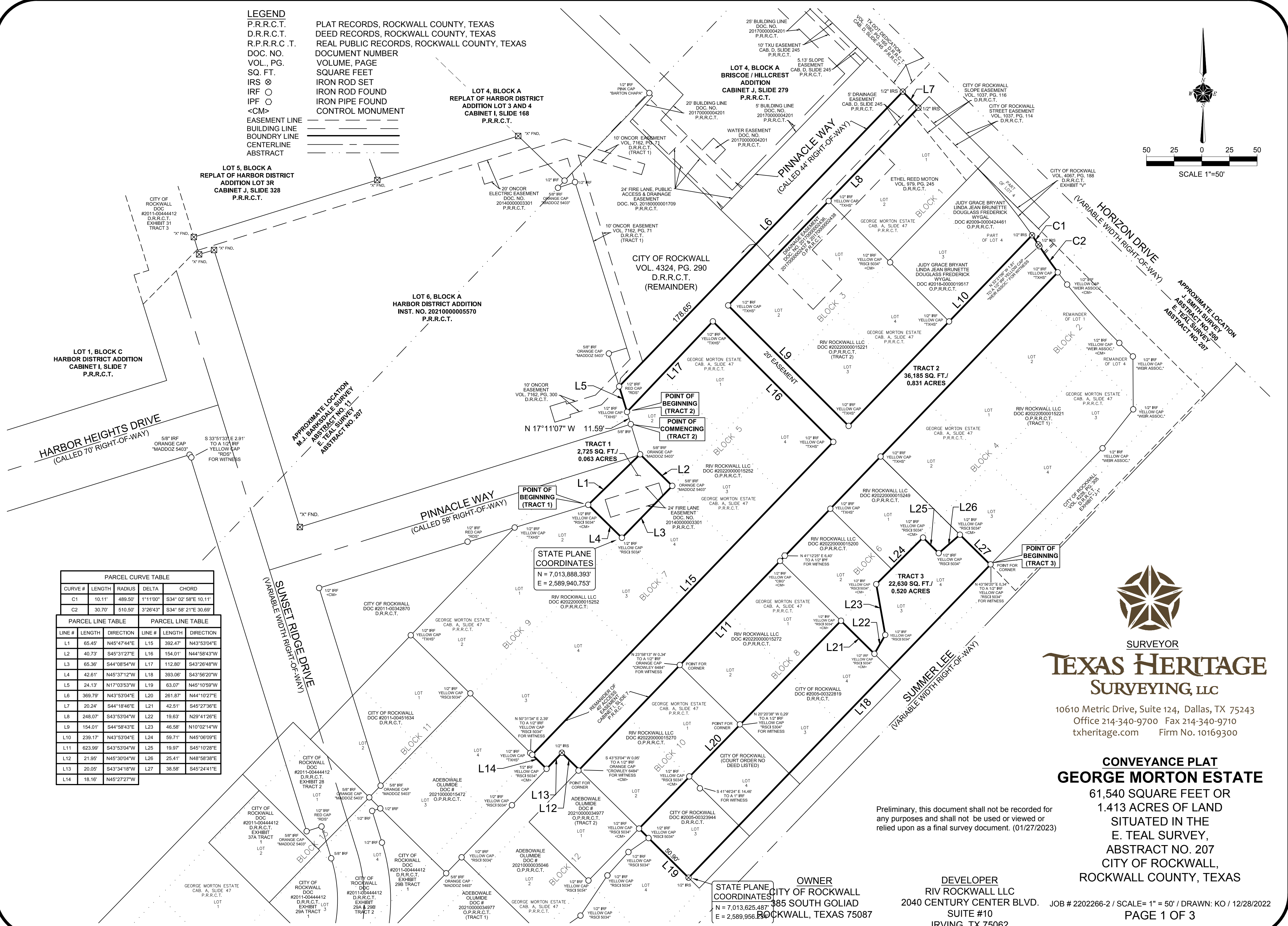
**LEGEND**  
P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS  
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS  
R.P.R.R.C.T. REAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
DOC. NO. DOCUMENT NUMBER  
VOL., PG. VOLUME, PAGE  
SQ. FT. SQUARE FEET  
IRS ⊗ IRON ROD SET  
IRF ○ IRON ROD FOUND  
IPF ○ IRON PIPE FOUND  
<CM> CONTROL MONUMENT  
EASEMENT LINE  
BUILDING LINE  
BOUNDRY LINE  
CENTERLINE  
ABSTRACT



PARCEL CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	10.11'	489.50'	1°11'00" S34° 02' 58"E 10.11'
C2	30.70'	510.50'	3°26'43" S34° 58' 21"E 30.69'

PARCEL LINE TABLE		PARCEL LINE TABLE			
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	65.45'	N45°47'44"E	L15	392.47'	N43°53'04"E
L2	40.73'	S45°31'27"E	L16	154.01'	N44°58'43"W
L3	85.36'	S44°08'54"W	L17	112.80'	S43°28'48"W
L4	42.61'	N45°37'12"W	L18	393.06'	S43°56'20"W
L5	24.13'	N17°03'53"W	L19	63.07'	N45°10'59"W
L6	369.79'	N43°53'04"E	L20	261.87'	N44°10'27"E
L7	20.24'	S44°18'46"E	L21	42.51'	S45°27'36"E
L8	248.07'	S43°53'04"W	L22	19.63'	N29°41'26"E
L9	154.01'	S44°58'43"E	L23	46.58'	N10°02'14"W
L10	239.17'	N43°53'04"E	L24	59.71'	N45°06'09"E
L11	623.99'	S43°53'04"W	L25	19.97'	S45°10'28"E
L12	21.95'	N45°30'04"W	L26	25.41'	N48°58'38"E
L13	20.05'	S43°34'18"W	L27	38.58'	S45°24'41"W
L14	18.16'	N45°27'27"W			



STATE PLANE COORDINATES  
N = 7,013,888.393'  
E = 2,589,940.753'

OWNER  
CITY OF ROCKWALL  
385 SOUTH GOLIAD  
ROCKWALL, TEXAS 75087

DEVELOPER  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062



10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

**CONVEYANCE PLAT**  
**GEORGE MORTON ESTATE**  
61,540 SQUARE FEET OR  
1.413 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

Preliminary, this document shall not be recorded for any purposes and shall not be used or viewed or relied upon as a final survey document. (01/27/2023)



OWNER'S CERTIFICATE  
(PUBLIC DEDICATION)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS the City of Rockwall, being the owner of several tracts of land in the County of Rockwall, State of Texas, said tracts being described as follows:

TRACT 1:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, being a portion of that tract of land described as Exhibit 37, Tract 1, Special Warranty Deed to The City of Rockwall as recorded in Document No. 2011-00444412, Official Public Records, Rockwall, County, Texas, same being a portion of Lot 1, Block 7, George Morton Estate, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 47, Plat Records, Rockwall County, Texas, same being more particularly described by metes and bounds as follows;

BEGINNING at a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for a point in a northwest line of that tract of land described in General Warranty Deed to RIV Rockwall LLC recorded in Document No. 20220000015252, Official Public Records, Rockwall, County, Texas, same being the southeast corner of Pinnacle Way, (called 58' right-of-way), same being on the shared line of Lots 1 & 2, Block 7 of said George Morton Estate;

THENCE North 45 degrees 47 minutes 44 seconds East, traversing said Lot 1, Block 7, a distance of 65.45 feet to a 5/8 inch iron rod found with orange plastic cap stamped "MADDOZ 5403" in the shared line of said Lot 1, Block 7 and Lot 2, Block 5 of said George Morton Estate, same being the eastmost point of said Pinnacle Way;

THENCE South 45 degrees 31 minutes 27 seconds East, along the southwest line of said Lot 2, Block 5 and along the northwest lines of said RIV ROCKWALL 20220000015252 tract, a distance of 40.73 feet to a 5/8 inch iron rod found with orange plastic cap stamped "MADDOZ 5403", same being the shared corner of Lots 2 & 3, Block 5 and Lots 1 & 3, Block 7 of said George Morton Estate;

THENCE South 44 degrees 08 minutes 54 seconds West, along the northwest line of said Lot 4, Block 7 and continuing along the northwest lines of said RIV ROCKWALL 20220000015252 tract, a distance of 65.36 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the shared corner of Lots 1, 2, 3 & 4, Block 7 of said George Morton Estate;

THENCE North 45 degrees 37 minutes 12 seconds West, along the northeast line of said Lot 2, Block 7 and continuing along a northwest line of said RIV ROCKWALL 20220000015252 tract, a distance of 42.61 feet to the POINT OF BEGINNING and containing 2,725 square feet or 0.063 acres of land more or less.

TRACT 2:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, being a portion of that tract of land described as a 20' and 40' Easement, George Morton Estate, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 47, Plat Records, Rockwall County, Texas, same being more particularly described by metes and bounds as follows;

COMMENCING at a 5/8 inch iron rod found for the northeast corner of Pinnacle Way, (called 58' right-of-way), same being the east corner of Lot 6, Block A, Harbor District Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Document No. 20210000005570, Plat Records, Rockwall County, Texas, same being a point on the west line of Lot 2, Block 5;

THENCE North 17 degrees 11 minutes 07 seconds West, along the southernmost southeast line of said Lot 6, Block A and traversing Lot 2, Block 5 of said George Morton Estate, a distance of 11.59 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" at the southwest end of a section of said 20' easement, same being the west corner of the remainder of said Lot 2, Block 5, same being the POINT OF BEGINNING;

THENCE North 17 degrees 03 minutes 53 seconds West, continuing along the southeast line of said Lot 6, Block A, a distance of 178.65 feet to a 1/2 inch iron rod found with red plastic cap stamped "RDS" at the southwest corner of the remainder of that tract of land described in General Warranty Deed to City of Rockwall recorded in Volume 4324, Page 290, Deed Records, Rockwall, County, Texas;

THENCE North 43 degrees 53 minutes 04 seconds East, along the southeast line of said City of Rockwall tract, passing at a distance of 178.65 feet to the southwest corner of Pinnacle Way (called 44' right-of-way and continuing for a total distance of 369.79 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the southeast corner of said Pinnacle Way, same being the northeast corner of said 20' easement and lying in the southwest right-of-way line of Horizon Drive (variable width right-of-way);

THENCE South 44 degrees 18 minutes 46 seconds East, along the said southwest right-of-way line of Horizon Drive, a distance of 20.24 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS", same lying in the northwest line tract of that tract of land described in Substitute Trustee's Deed affected by Affidavit of Ownership to Ethel Reed Moton recorded in Volume 979, Page 245, Deed Records, Rockwall County, Texas, same lying in the northwest line of Lot 1, Block 1 of said George Morton Estate;

THENCE South 43 degrees 53 minutes 04 seconds West, along the northwest line of said Blocks 1 and 3, of said George Morton Estate, a distance of 248.07 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the west corner of said Block 3;

THENCE South 44 degrees 58 minutes 43 seconds East, along the southwest line of said Block 3, a distance of 154.01 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the south corner of said Block 3;

THENCE North 43 degrees 53 minutes 04 seconds East, along the southeast line of said Blocks 3 and 1, a distance of 239.17 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the east corner of that tract of land described in Special Warranty Deed to Judy Grace Bryant, Linda Jean Brunette and Douglass Frederick Wygal as recorded in Document No. 2009-00424461, Official Public Records, Rockwall County, Texas, and lying in the said southwest right-of-way line of Horizon Drive, same being the start of a tangent curve to the right having a radius of 489.50 feet a delta angle of 01 degrees 11 minutes 00 seconds and a chord bearing and distance of South 34 degrees 02 minutes 58 seconds East 10.11 feet;

THENCE along the said southwest right-of-way line of Horizon Drive with the curve to the right, an arc distance of 10.11 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the end of said curve, same being the start of a tangent curve to the left having a radius of 510.50 feet a delta angle of 03 degrees 26 minutes 43 seconds and a chord bearing and distance of South 34 degrees 58 minutes 21 seconds East 30.69 feet;

THENCE continuing along the said southwest right-of-way line of Horizon Drive with the curve to the left, an arc distance of 30.70 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the end of said curve for the north corner of the remainder of Block 2 of said George Morton Estate;

THENCE South 43 degrees 53 minutes 04 seconds West, along the northwest line of Blocks 2, 4, 6, 8 and 10 of said George Morton Estate, a distance of 623.99 feet to a point for corner for the north corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebawale as recorded in Document No. 20210000034977, Official Public Records, Rockwall County, Texas, same being a northeast corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebawale as recorded in Document No. 20210000035046, Official Public Records, Rockwall County, Texas;

THENCE North 43 degrees 30 minutes 04 seconds West, along a north line of said Adebawale 20210000035046 tract, a distance of 21.95 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for an ell corner;

THENCE South 43 degrees 34 minutes 18 seconds West, continuing along a north line of said Adebawale 20210000035046 tract, a distance of 20.05 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the east corner of that tract of land described in General Warranty Deed to Olumide Adebawale as recorded in Document No. 20210000034928, Official Public Records, Rockwall County, Texas;

THENCE North 45 Degrees 27 minutes 27 seconds West, along the northeast line of said Adebawale 20210000034928 tract, a distance of 18.16 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the south corner of Block 9 of said George Morton Estate, from which a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" bears North 50 degrees 31 minutes 34 seconds East 2.39 feet for witness;

THENCE North 43 degrees 53 minutes 04 seconds East, along the southeast line of said Blocks 9, 7 and 5, a distance of 392.47 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the east corner of said Block 5;

THENCE North 44 Degrees 58 minutes 43 seconds West, along the northeast line of said Block 5, a distance of 154.01 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the north corner of said Block 5;

THENCE South 43 degrees 26 minutes 48 seconds West, along the northwest line of said Block 5, a distance of 112.80 feet to the POINT OF BEGINNING and containing 36,185 square feet or 0.831 acres of land more or less.

TRACT 3:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, being a portion of Summer Lee Drive (variable width right-of-way, same being a portion of Lots 3 and 4, Block 6 George Morton Estate, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 47, Plat Records, Rockwall County, Texas, along with 2 tracts of land described in Warranty Deeds to the City of Rockwall as Document No. 2005-00322819 and Document No. 2005-00323944, Official Public Records, Rockwall County, Texas and 1 tract of land to the City of Rockwall (no deed found), together consisting of Lots 3 and 4, Block 8 and Lots 3 and 4, Block 10 of said George Morton Estate, all together being more particularly described by metes and bounds as follows;

BEGINNING at a point for corner for the south corner of Lot 3, Block 4 of said George Morton Estate, same being the south corner of that tract of land described as Tract 1 in General Warranty Deed to RIV Rockwall LLC as recorded in Document No. 2022-0000015221, Official Public Records, Rockwall County, Texas, same lying in the current northwest right-of-way line of said Summer Lee Drive from which a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" bears North 43 degrees 56 minutes 20 seconds East 0.34 feet for witness;

THENCE South 43 degrees 56 minutes 20 seconds West, along the said current northwest right-of-way line of said Summer Lee Drive, traversing said Lots 3 and 4, Block 6 and along the southeast lines of said City of Rockwall tracts, a distance of 393.06 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the south corner of said City of Rockwall 2005-00323944 tract;

THENCE North 45 degrees 10 minutes 59 seconds West, along the southwest line of said City of Rockwall 2005-00323944 tract, passing at a distance of 50.90 feet a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the southeast corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebawale as recorded in Document No. 20210000035046, Official Public Records, Rockwall County, Texas and continuing for a total distance of 63.07 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the east corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebawale as recorded in Document No. 20210000034977, Official Public Records, Rockwall County, Texas, same being the south corner of that tract of land described in General Warranty Deed to RIV Rockwall LLC as recorded in Document No. 20220000015200, Official Public Records, Rockwall County, Texas;

THENCE North 44 degrees 10 minutes 27 seconds East, along the southeast line of Lots 2 and 1, Block 10 and Lots 2 and 1, Block 8 of said George Morton Estate, a distance of 261.87 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "CBG" for the east corner of that tract of land described in General Warranty Deed to RIV Rockwall LLC as recorded in Document No. 20220000015272, Official Public Records, Rockwall County, Texas, same lying in the southwest line of that tract of land described in General Warranty Deed to RIV Rockwall LLC as recorded in Document No. 20220000015200, Official Public Records, Rockwall County, Texas;

THENCE South 45 degrees 27 minutes 36 seconds East, along the southwest line of said RIV Rockwall LLC 20220000015200 tract, a distance of 42.51 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the south corner of same and lying in the said current right-of-way line of Summer Lee Drive;

THENCE along the said current right-of-way line of Summer Lee Drive the following bearings and distances;

North 29 degrees 41 minutes 26 seconds East a distance of 19.63 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for an angle point;

North 10 degrees 02 minutes 14 seconds East a distance of 46.58 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for an angle point;

North 45 degrees 06 minutes 09 seconds East a distance of 59.71 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for an angle point;

South 45 degrees 10 minutes 28 seconds East, a distance of 19.97 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for an angle point;

North 48 degrees 58 minutes 38 seconds East a distance of 25.41 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for an angle point;

South 45 degrees 24 minutes 41 seconds East a distance of 38.58 feet to the POINT OF BEGINNING and containing 22,630 square feet or 0.520 acres of land more or less.

OWNER  
CITY OF ROCKWALL  
385 SOUTH GOLIAD  
ROCKWALL, TEXAS 75087

DEVELOPER  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062



TEXAS HERITAGE  
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

**CONVEYANCE PLAT**  
**GEORGE MORTON ESTATE**  
61,540 SQUARE FEET OR  
1.413 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

JOB # 2202266-2 / SCALE= 1" = 50' / DRAWN: KO / 12/28/2022

PAGE 2 OF 3



OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

THAT THE CITY OF ROCKWALL, acting herein by and through its duly authorized officers, do hereby adopt this plat designating the herein above described property as **GEORGE MORTON ESTATE**, an addition to the City of Rockwall, Rockwall County, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon, and does hereby reserve the easement strips shown on this plat for the mutual use and accommodations of all public utilities desiring to or using same. Any public utility shall have the right to remove and keep removed all or part of any building, fence, trees, shrubs or other growths or improvements which in any way endangers or interferes with the construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time procuring permission of anyone.

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public

services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

\_\_\_\_\_  
Property Owner Signature

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared xxxxx, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary Public in and for the State of Texas My Commission Expires

GENERAL NOTES

- 1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- 2) Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

**OWNER**  
CITY OF ROCKWALL  
385 SOUTH GOLIAD  
ROCKWALL, TEXAS 75087

**DEVELOPER**  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062



10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

I, Gary E. Johnson, a Registered Professional Land Surveyor R.P.L.S. 5299, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2" iron rods with yellow plastic caps stamped "TXHS" under my direction and supervision.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Preliminary, this document shall not be recorded for any purposes and shall not be used or viewed or relied upon as a final survey document. (01/27/2023)

Gary E. Johnson  
Texas Registered Professional Land Surveyor No. 5299

CITY SIGNATURE BLOCK

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION      DATE

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
MAYOR, CITY OF ROCKWALL      CITY SECRETARY      CITY ENGINEER

**CONVEYANCE PLAT**  
**GEORGE MORTON ESTATE**  
61,540 SQUARE FEET OR  
1.413 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 25, 2023  
**APPLICANT:** Bob Pruett; Urban Structure  
**CASE NUMBER:** P2023-009; *Final Plat for Lots 1 & 2, Block A, Cambridge Estates*

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### SUMMARY

Consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, Cambridge Estates Addition being a 6.247-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Final Plat for a 6.247-acre tract of land (*i.e. Tract 3 of the J. M. Allen Survey, Abstract No. 2*) for the purpose of creating (2) parcels of land (*i.e. Lot 1 & 2, Block A, Cambridge Estates Addition*) and establishing access, fire lane, and utility easements necessary to develop a *Mini-Warehouse Facility*.
- Background. On September 16, 1974, the subject property was annexed by *Ordinance No. 74-26 [Case No. A1974-006]*. At the time of annexation, the subject property was zoned Agricultural (AG) District; however, on November 4, 1974 the subject property was rezoned to Planned Development District 10 (PD-10) [*Ordinance No. 74-32*] for *Multi-Family* land uses. On April 5, 2004, the City Council amended Planned Development District 10 (PD-10) through the adoption of *Ordinance No. 04-25*, which changed the designation of the subject property from being designated for *Multi-Family* land uses to *Commercial* land uses. On July 2, 2012, the City Council amended Planned Development District 10 (PD-10) by *Ordinance No. 12-13 [Case No. Z2012-006]*; however, this ordinance did not change the designation or development standards for the subject property. On September 13, 2022, the Planning and Zoning Commission approved a *Site Plan*, and -- on September 19, 2022 -- the City Council approved an *exception* to the building height for the development of a *Mini-Warehouse Facility*. On January 10, 2023, the Planning and Zoning Commission approved an *Amended Site Plan* amending the building elevations for the approved *Mini-Warehouse Facility*.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### CONDITIONS OF APPROVAL

If the City Council chooses to approve the Final Plat for *Lots 1 & 2, Block A, Cambridge Estates Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,

- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: P2023-009  
PROJECT NAME: Final Plat For Lots 1,2 & Block A of Cambridge Estates  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, Cambridge Estates Addition being a 3.682-acre portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/17/2023	Approved w/ Comments

04/19/2023: P2023-009: Final Plat for Lots 1 & 2, Block A, Cambridge Estates  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, Cambridge Estates Addition being a 6.247-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2023-009) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat  
Lots 1 & 2, Block A  
Cambridge Estates  
Being Two (2) lots  
6.247 Acres Or 272,107 SF  
Situated within the  
J.M. Allen Survey, Abstract No. 02  
City of Rockwall, Rockwall County, Texas

M.5 Please provide the following Signature Block on the second page. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of

Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
MAYOR OF THE CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION CHAIRMAN

\_\_\_\_\_  
CITY SECRETARY

\_\_\_\_\_  
CITY ENGINEER

M.6 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.7 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]  
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.

Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.



The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

\_\_\_\_\_  
PROPERTY OWNER SIGNATURE

\_\_\_\_\_  
SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.8 Label the building lines where adjacent to the street. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Indicate the median openings for John King Boulevard adjacent to the property. (Section 38-7, Subdivisions, of the Municipal Code of Ordinances)

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: April 25, 2023  
City Council: May 1, 2023

I.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

04/20/2023: - 100- year WSEL for pond, and minimum FFE of Lot. \  
- Water line easement required for looped water line and hydrants. Need utility esmt.  
- Note regarding temporary detention is covering easements.  
- Portion of storm sewer is to remain.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved

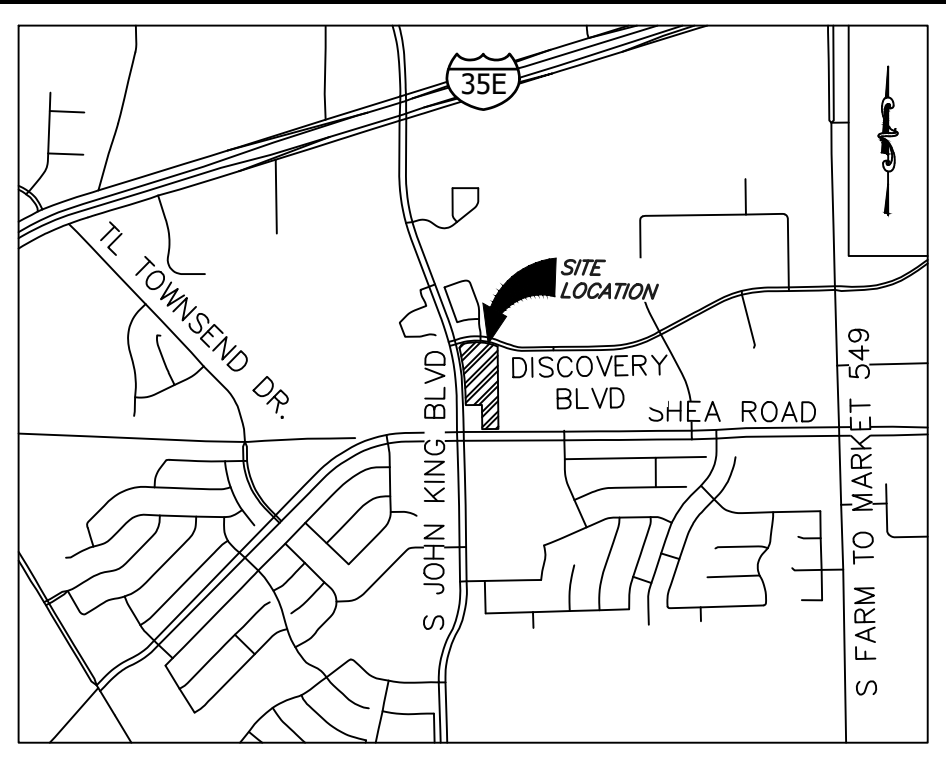
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

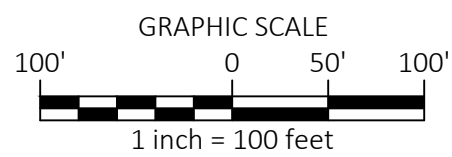
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

No Comments



VICINITY MAP  
(NOT TO SCALE)



GENERAL NOTES

- ALL BEARINGS, DISTANCES, AND COORDINATE VALUES SHOWN HEREON ARE GRID BASED UPON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), U.S. SURVEY FEET, NORTH AMERICAN DATUM OF 1983, AS DERIVED BY GNSS.
- NOT ALL LOT LINES OUTSIDE OF THE BOUNDARY OF THE SUBJECT PROPERTY SHOWN HEREON HAVE BEEN SURVEYED AND ARE SHOWN AS GRAPHICAL DEPICTION BASED ON RECORDED INFORMATION AND TAX MAPS ONLY.
- SURVEYOR DID NOT ABSTRACT THE SUBJECT TRACT. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES THAT AFFECT THE SUBJECT TRACT THAT ARE NOT SHOWN HEREON.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 48397C0045L, DATED 09/26/2008 FOR ROCKWALL COUNTY, TEXAS, THIS PROPERTY IS LOCATED IN NON-SHADED "ZONE X", DETERMINED BY SCALING AND GRAPHICAL PLOTTING ONLY. SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF THAT MAP.
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- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS. **and bear sole liability of all systems.**

LEGEND

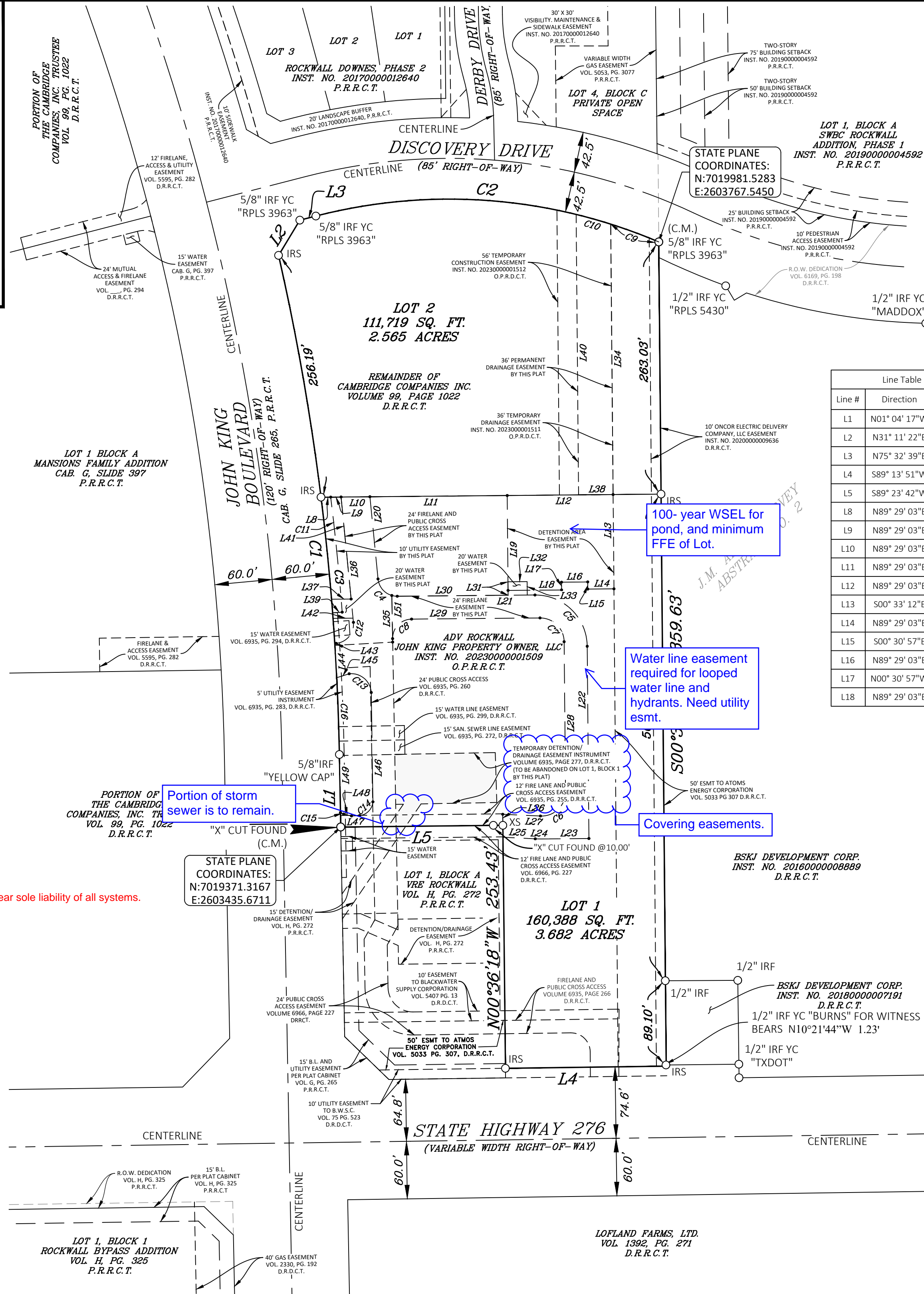
○ BOUNDARY/LOT CORNER

LINETYPES

--- STREET CENTERLINE  
- - - EASEMENT LINE

ABBREVIATIONS

- INST. NO. INSTRUMENT NUMBER  
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D.R.D.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS  
O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
CAB. CABINET  
VOL. VOLUME  
PG. PAGE  
(XX' XX' XX") RECORD BEARING  
(XX.XX) RECORD DISTANCE  
P.O.B. POINT OF BEGINNING  
(C.M.) CONTROLLING MONUMENT  
IRS IRON ROD SET w/ ORANGE CAP STAMPED  
"U.S. + SURVEY, PLLC"  
IRF IRON ROD FOUND  
IPF IRON PIPE FOUND  
IRFC IRON ROD FOUND CAPPED  
ESMT EASEMENT  
XS "X" CUT SET



Curve Table					
Curve #	Delta	Radius	Length	Chord Bearing	Chord Distance
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C11	2° 41' 18"	2570.00'	120.58'	N 05°43'33" W	120.57'
C12	90° 00' 00"	20.00'	31.42'	S 39°21'53" W	28.28'
C13	92° 47' 41"	20.85'	33.76'	N 49°44'28" W	30.19'
C14	78° 57' 19"	15.75'	21.70'	N 43°59'04" E	20.03'
C15	17° 50' 44"	11.64'	3.63'	S 62°20'27" E	3.61'
C16	1° 49' 01"	2559.70'	81.17'	N 01°57'23" W	81.17'

Line Table		
Line #	Direction	Length
L1	N01° 04' 17"W	75.66'
L2	N31° 11' 22"E	42.90'
L3	N75° 32' 39"E	17.26'
L4	S89° 13' 51"W	167.78'
L5	S89° 23' 42"W	169.18'
L8	N89° 29' 03"E	10.07'
L9	N89° 29' 03"E	10.85'
L10	N89° 29' 03"E	30.12'
L11	N89° 29' 03"E	143.25'
L12	N89° 29' 03"E	110.48'
L13	S00° 33' 12"E	98.33'
L14	N89° 29' 03"E	27.38'
L15	S00° 30' 57"E	7.46'
L16	N89° 29' 03"E	27.33'
L17	N00° 30' 57"W	8.13'
L18	N89° 29' 03"E	55.84'

Line Table		
Line #	Direction	Length
L19	S00° 30' 57"E	99.00'
L20	S05° 38' 07"E	86.13'
L21	N89° 29' 03"E	143.69'
L22	S00° 30' 57"E	200.50'
L23	S89° 29' 03"W	49.71'
L24	N88° 47' 11"W	6.29'
L25	N87° 12' 32"W	33.71'
L26	S00° 36' 24"E	23.97'
L27	N87° 19' 52"W	39.37'
L28	S00° 30' 57"E	156.62'
L29	N89° 29' 03"E	133.97'
L30	N89° 29' 03"E	115.64'
L31	N00° 30' 57"W	14.00'
L32	N89° 29' 03"E	20.00'
L33	S00° 30' 57"E	14.00'
L34	S00° 30' 07"E	282.08'

Line Table		
Line #	Direction	Length
L35	S01° 04' 17"E	48.64'
L36	S05° 38' 07"E	131.37'
L37	N89° 29' 03"E	20.42'
L38	S89° 29' 03"W	36.00'
L39	N85° 37' 06"E	10.00'
L40	S00° 30' 07"E	292.52'
L41	S05° 38' 07"E	106.93'
L42	N89° 29' 03"E	20.83'
L43	S84° 21' 53"W	1.51'
L44	S03° 15' 55"E	35.76'
L45	N72° 29' 35"E	13.60'
L46	S00° 52' 26"E	114.01'
L47	S87° 40' 01"W	8.43'
L48	N77° 18' 28"W	8.55'
L49	N01° 04' 21"W	59.50'
L51	S01° 04' 17"E	45.03'

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

**SURVEYOR**  
David A. Minton, RPLS  
Texas License No 6233  
Urban Strategy  
1100 E. Campbell, Ste 210  
214-396-2339  
davidm@urbanstrategy.us  
TBPELS Firm No. 1019461

**CIVIL**  
Urban Strategy  
4222 Main St.  
Dallas, TX 75226  
www.urbanstrategy.us  
214-295-5775

**DEVELOPER/ OWNER**  
Advantage Storage  
contact: Rick Jones  
2221 Lakeside Blvd., Suite 1260  
Richardson, TX 75082  
Phone: (972) 832-8933



4222 Main Street, Dallas, Texas 75226  
Firm Registration #F-22252, 214-369-2339  
www.urbanstrategy.us

FINAL PLAT

OF  
CAMBRIDGE ESTATES  
LOTS 1 AND 2, BLOCK 1  
6.247 ACRES / 272,107 SQUARE FEET  
BEING OUT OF THE  
OUT THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2023-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NE CORNER OF JOHN KING BLVD & US 276**

SUBDIVISION **UNPLATTED**

LOT

BLOCK

GENERAL LOCATION **NE CORNER OF JOHN KING BLVD & US 276**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD 10 W/ HIGHWAY OVERLAY**

CURRENT USE **VACANT**

PROPOSED ZONING **PD 10 W/ HIGHWAY OVERLAY**

PROPOSED USE **MINI-WAREHOUSE**

ACREAGE **6.247 ACRES**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **2**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ADV ROCKWALL JOHN KING PROPERTY OWNER, LLC**

APPLICANT **URBAN STRATEGY**

CONTACT PERSON **DAVIS DEADMAN**

CONTACT PERSON **BOB PRUETT**

ADDRESS **2221 LAKESIDE BLVD  
SUITE 1260**

ADDRESS **1100 E. CAMPBELL ROAD  
SUITE 210**

CITY, STATE & ZIP **RICHARDSON, TX 75082**

CITY, STATE & ZIP **RICHARDSON, TX 75081**

PHONE **972-832-8933**

PHONE **214-295-5347**

E-MAIL **DAVIS@ADVANTAGESTORAGE.NET**

E-MAIL **BOBP@URBANSTRATEGY.US**

## NOTARY VERIFICATION [REQUIRED]

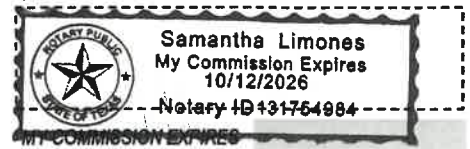
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **DAVIS DEADMAN** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 440.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>TH</sup> DAY OF APRIL, 20 23. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

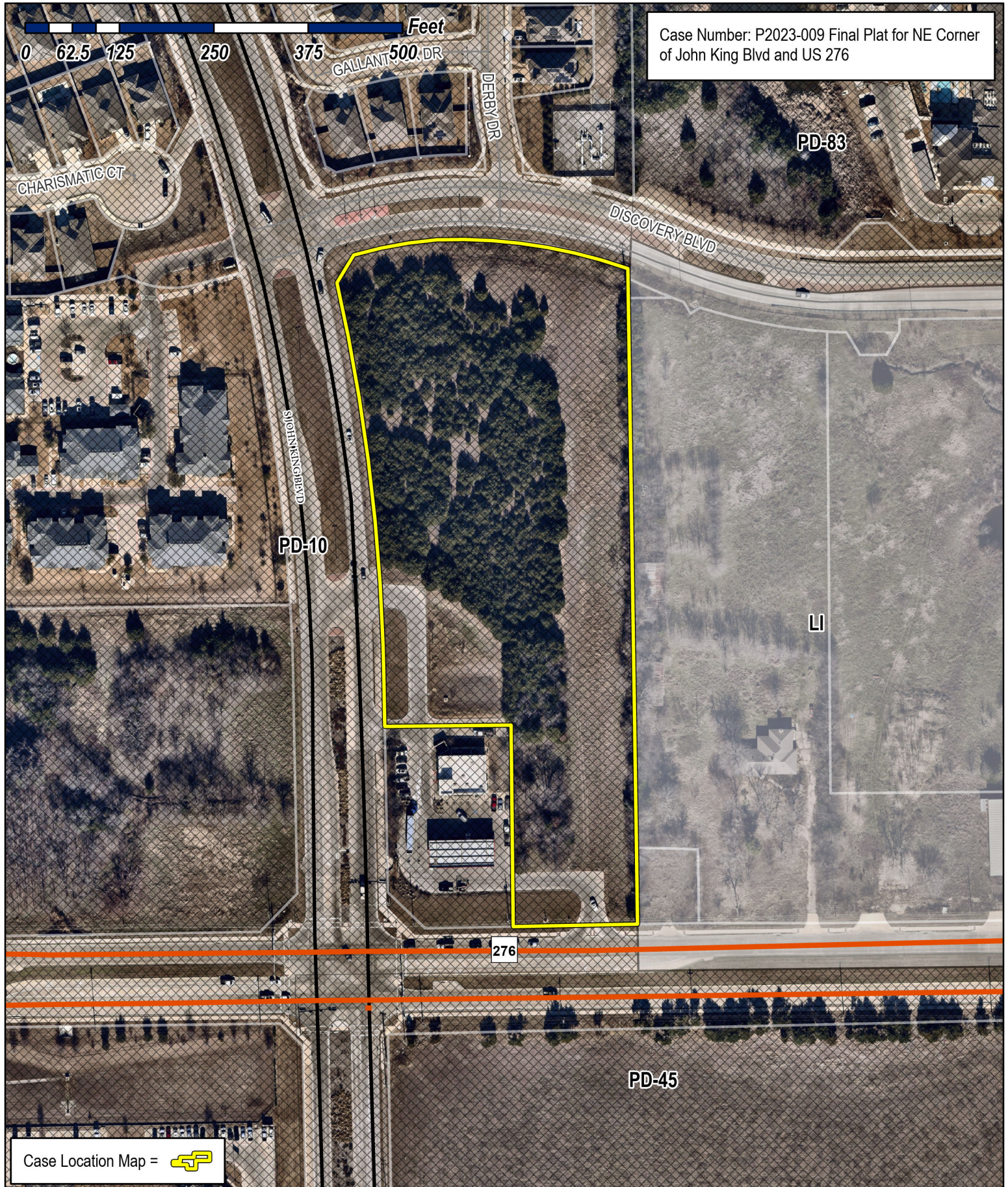
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF April, 2023.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Number: P2023-009 Final Plat for NE Corner of John King Blvd and US 276

Case Location Map = 



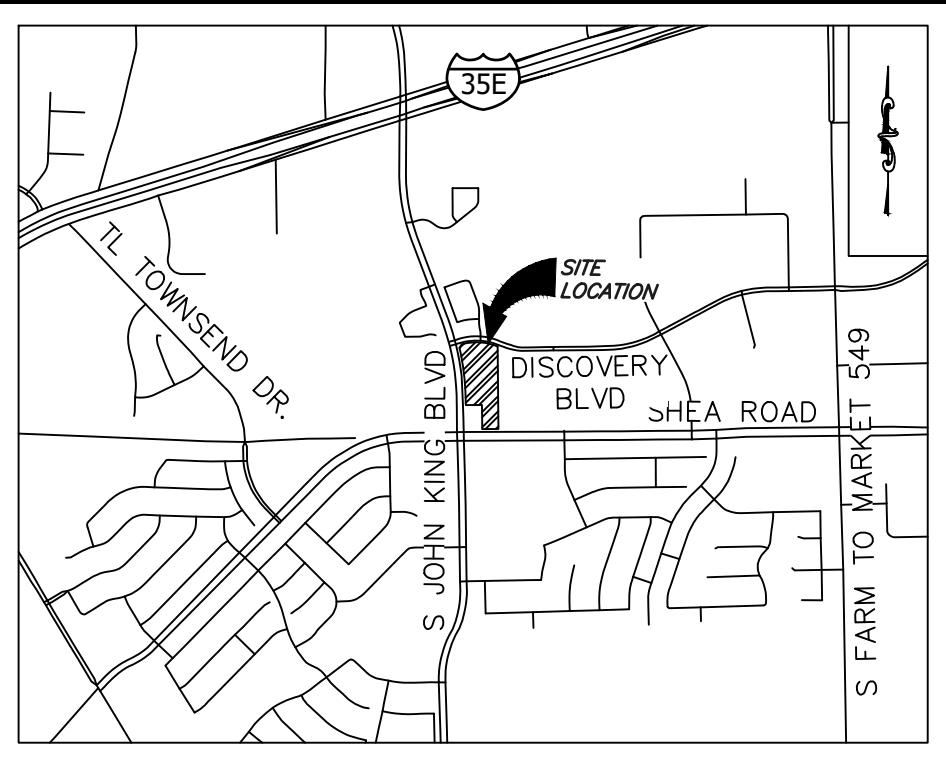
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

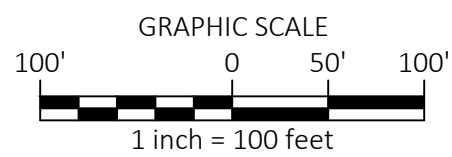
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







VICINITY MAP  
(NOT TO SCALE)



GENERAL NOTES

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LEGEND

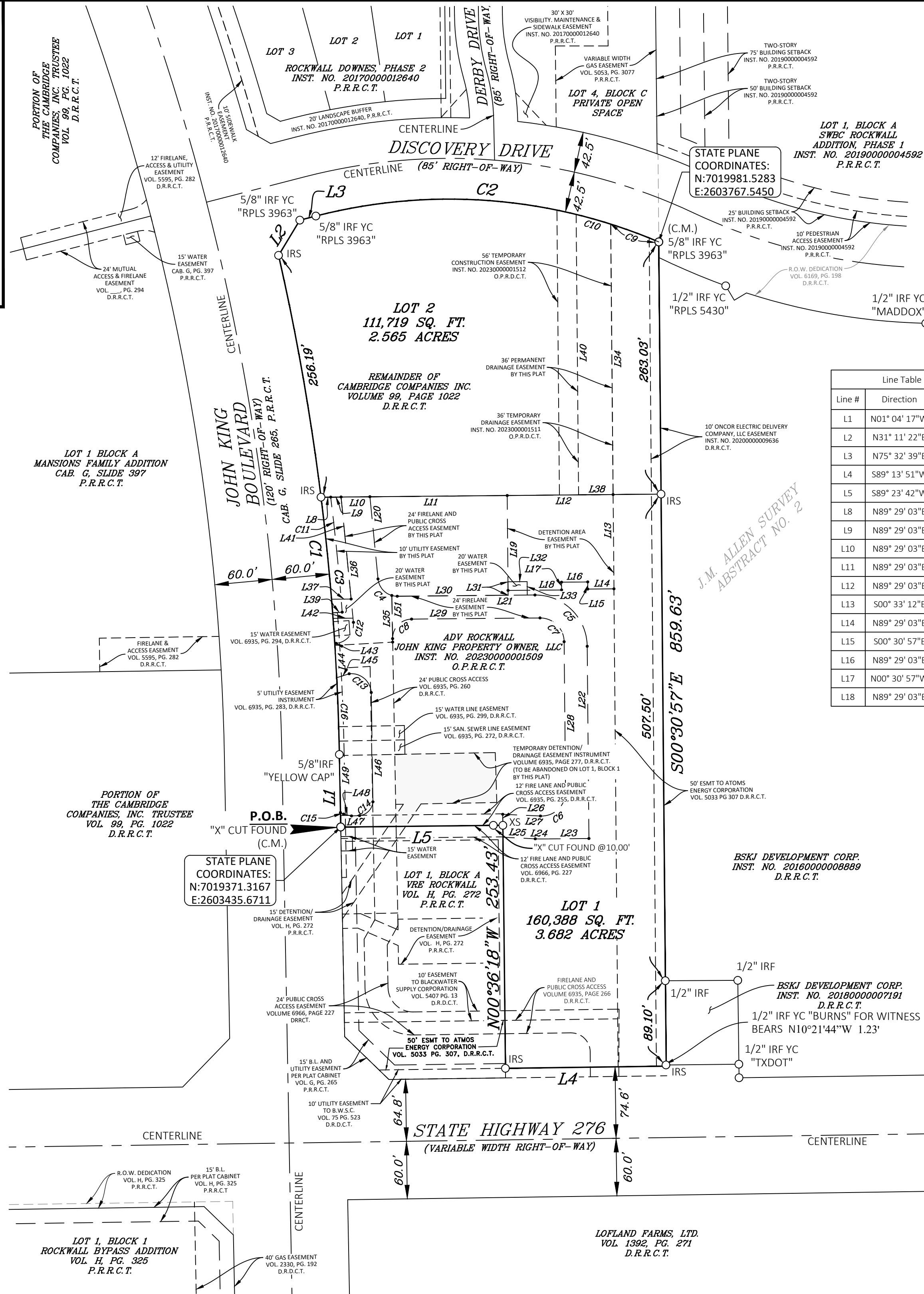
○ BOUNDARY/LOT CORNER

LINETYPES

--- STREET CENTERLINE  
- - - EASEMENT LINE

ABBREVIATIONS

- INST. NO. INSTRUMENT NUMBER  
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L14	N89° 29' 03" E	27.38'
L15	S00° 30' 57" E	7.46'
L16	N89° 29' 03" E	27.33'
L17	N00° 30' 57" W	8.13'
L18	N89° 29' 03" E	55.84'

Line Table		
Line #	Direction	Length
L19	S00° 30' 57" E	99.00'
L20	S05° 38' 07" E	86.13'
L21	N89° 29' 03" E	143.69'
L22	S00° 30' 57" E	200.50'
L23	S89° 29' 03" W	49.71'
L24	N88° 47' 11" W	6.29'
L25	N87° 12' 32" W	33.71'
L26	S00° 36' 24" E	23.97'
L27	N87° 19' 52" W	39.37'
L28	S00° 30' 57" E	156.62'
L29	N89° 29' 03" E	133.97'
L30	N89° 29' 03" E	115.64'
L31	N00° 30' 57" W	14.00'
L32	N89° 29' 03" E	20.00'
L33	S00° 30' 57" E	14.00'
L34	S00° 30' 07" E	282.08'

Line Table		
Line #	Direction	Length
L35	S01° 04' 17" E	48.64'
L36	S05° 38' 07" E	131.37'
L37	N89° 29' 03" E	20.42'
L38	S89° 29' 03" W	36.00'
L39	N85° 37' 06" E	10.00'
L40	S00° 30' 07" E	292.52'
L41	S05° 38' 07" E	106.93'
L42	N89° 29' 03" E	20.83'
L43	S84° 21' 53" W	1.51'
L44	S03° 15' 55" E	35.76'
L45	N72° 29' 35" E	13.60'
L46	S00° 52' 26" E	114.01'
L47	S87° 40' 01" W	8.43'
L48	N77° 18' 28" W	8.55'
L49	N01° 04' 21" W	59.50'
L51	S01° 04' 17" E	45.03'

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

**SURVEYOR**  
David A. Minton, RPLS  
Texas License No 6233  
Urban Strategy  
1100 E. Campbell, Ste 210  
214-396-2339  
davidm@urbanstrategy.us  
TBPELS Firm No. 1019461

**CIVIL**  
Urban Strategy  
4222 Main St.  
Dallas, TX 75226  
www.urbanstrategy.us  
214-295-5775

**DEVELOPER/ OWNER**  
Advantage Storage  
contact: Rick Jones  
2221 Lakeside Blvd., Suite 1260  
Richardson, TX 75082  
Phone: (972) 832-8933

**URBAN STRATEGY**  
4222 Main Street, Dallas, Texas 75226  
Firm Registration #F-22252, 214-369-2339  
www.urbanstrategy.us

**FINAL PLAT**  
OF  
**CAMBRIDGE ESTATES**  
LOTS 1 AND 2, BLOCK 1  
6.247 ACRES / 272,107 SQUARE FEET  
BEING OUT OF THE  
OUT THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

FILE NAME: 22527-FINAL PLAT-WTH.DWG  
FILE LOCATION: S:\Survey (Team Folder)\Projects\2022\22527 - Advantage Storage - Rockwall\3.68 acres\ACAD\Sheets\22527-FINAL PLAT-WTH.dwg  
PLOT DATE: 4/14/2023 10:31 AM



**OWNER'S CERTIFICATION**

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS The Cambridge Companies, Inc., Trustee, and ADV Rockwall John King Property Owner, LLC, are the sole owners of a 272,107 square foot or a 6.247 acre tract of land situated in the James M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, being a part of that tract of land described to said Cambridge Companies Inc. by General Warranty Deed recorded in Volume 99, Page 1022, Deed Records, Rockwall County, Texas (D.R.R.C.T.), and being all of that tract of land described to said ADV Rockwall John King Property Owner, LLC, by Special Warranty Deed recorded in Instrument No. 2023000001509, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING (P.O.B.) at an "X" cut found for the Northwest corner of Lot 1, Block A, VRE Rockwall, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume H, Page 272, Plat Records, Rockwall County, Texas (P.R.R.C.T.); same being in the east Right-of-Way (R.O.W.) line of John King Boulevard (a 120' R.O.W.), as established by R.O.W. Dedication Plat for S.H. No. 205 Bypass, recorded in Volume G, Page 265, P.R.R.C.T.;

THENCE with the East R.O.W. line of said John King Boulevard, the following courses and distances:

North 01 degrees 04 minutes 17 seconds West, a distance of 75.66 feet to a 5/8 inch iron rod found with plastic yellow cap for the beginning of a tangent curve to the left, having a radius of 2560.00 feet, a central angle of 11 degrees 45 minutes 29 seconds, a chord bearing and distance of North 06 degrees 57 minutes 02 seconds West, 524.43 feet;

With said curve to the left, passing a 1/2" iron rod set with an orange plastic cap stamped "U.S. Plus Survey" at an arc length of 269.16 feet , and continuing a total arc length of 525.35 feet to a 1/2" iron rod set with an orange plastic cap stamped "U.S. Plus Survey", being the intersection of the East R.O.W. line of said John King Boulevard and the South R.O.W. line of Discovery Drive (an 85 foot R.O.W.);

THENCE North 31 degrees 11 minutes 22 seconds East, with said intersection, a distance of 42.90 feet to a 5/8 inch iron rod with plastic yellow cap stamped "RPLS 3963" in the South R.O.W. line of said Discovery Drive;

THENCE with the South R.O.W. line of said Discovery Drive, the following courses and distances:

NORTH 75 degrees 32 minutes 39 seconds East, a distance of 17.26 feet to a 5/8 inch iron rod found with plastic yellow cap stamped "RPLS 5963", being the beginning of a tangent curve to the right, having a radius of 557.50 feet, a central angle of 37 degrees 32 minutes 50 seconds, and a chord bearing and distance of South 85 degrees 40 minutes 55 seconds East, 358.84 feet;

With the South line of said Discovery Drive, and said cure to the right, an arc length of 365.34 feet to a 5/8 inch iron rod found with plastic yellow cap stamped "RPLS 5963" for the Northeast corner of the herein described tract;

THENCE South 00 degrees 30 minutes 57 seconds East, along the South R.O.W. line of said Discovery Drive, and the West line of a tract of land described to BSKJ Development Corp., by General Warranty Deed recorded in Instrument No. 2016000008889, D.R.R.C.T., passing a 1/2 inch iron rod set with plastic orange cap stamped "U.S. Plus Survey" for reference at a distance of 263.03 feet, passing a 1/2 inch iron rod found for reference at a distance of 507.50 feet, and continuing a total distance of 859.63 feet to a 1/2 inch iron rod set with plastic orange cap stamped "U.S. Plus Survey" in the north Right-of-Way line of State Highway 276 (a variable width Right-of-Way), from which a 1/2" iron rod found for reference bears North 10°21'44" West a distance of 1.23 feet;

THENCE South 89°13'51" West, with the north Right-of-Way line of said State Highway 276, a distance of 167.78 feet, to a 1/2 inch iron rod set with plastic orange cap stamped "U.S. Plus Survey" in the east line of aforesaid Lot 1, Block A;

THENCE with said Lot 1, Block A, the following courses:

North 00°36'18" West, a distance of 253.43 feet, to an "X" cut set in concrete, from which an "X" cut in concrete found for reference bears South 89°23'42" West a distance of 10.00 feet;

South 89°23'42" West, a distance of 169.18 feet, to the POINT OF BEGINNING (P.O.B.) and containing 272,107 square foot or a 6.247 acres of land, more or less.

**NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I, The Cambridge Companies, Inc., Trustee, acting by and through it's duly authorized agent, James J. Melino, and ADV Rockwall John King Property Owner, LLC, acting by and through it's duly authorized agent, \_\_\_\_\_, the undersigned owner(s) of the land shown on this plat, and designated herein as the CAMBRIDGE ESTATES subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the CAMBRIDGE ESTATES subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvement which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein

The Cambridge Companies, Inc., Trustee

By: \_\_\_\_\_ Date: \_\_\_\_\_
James J. Melino

STATE OF TEXAS §
COUNTY OF NAME §

Before me, the undersigned authority, on this day personally appeared James J. Melino, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this \_\_\_ day of \_\_\_\_\_, 2023.

Notary Public, in and for the State of Texas

**GENERAL NOTES**

- 1. ALL BEARINGS, DISTANCES, AND COORDINATE VALUES SHOWN HEREON ARE GRID BASED UPON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), U.S. SURVEY FEET, NORTH AMERICAN DATUM OF 1983, AS DERIVED BY GNSS.
2. NOT ALL LOT LINES OUTSIDE OF THE BOUNDARY OF THE SUBJECT PROPERTY SHOW HEREON HAVE BEEN SURVEYED AND ARE SHOWN AS GRAPHICAL DEPICTION BASED ON RECORDED INFORMATION AND TAX MAPS ONLY.
3. SURVEYOR DID NOT ABSTRACT THE SUBJECT TRACT. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES THAT AFFECT THE SUBJECT TRACT THAT ARE NOT SHOWN HEREON.
4. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 48397C0045L, DATED 09/26/2008 FOR ROCKWALL COUNTY, TEXAS, THIS PROPERTY IS LOCATED IN NON-SHADED "ZONE X", DETERMINED BY SCALING AND GRAPHICAL PLOTTING ONLY. SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF THAT MAP.
5. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
6. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.

This minor plat is hereby approved in accordance with Section 1.13.5 of the Unified Development Code of the City of Irving.

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2023.

This approved shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk if Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUT HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

Mayor, City of Rockwall

City Secretary

City Engineer

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS §
COUNTY OF ROCKWALL §

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, David A. Minton, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly places under my personal supervision.

Dated this the \_\_\_ day of \_\_\_\_\_, 2023.

David A. Minton, RPLS
Texas License No 6233

STATE OF TEXAS §
COUNTY OF HUNT §

Before me, the undersigned authority, a notary public in and for the said county and state, on this day personally appeared Clifford E. Cameron, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this the \_\_\_ day of \_\_\_\_\_, 2023.

Notary Public, in and for the State of Texas

**SURVEYOR**

David A. Minton, RPLS
Texas License No 6233
Urban Strategy
1100 E. Campbell, Ste 210
Dallas, TX 75226
114-396-2339
davidm@urbanstrategy.us
TBPELS Firm No. 1019461

**CIVIL**

Urban Strategy
4222 Main St.
Dallas, TX 75226
www.urbanstrategy.us
214-295-5775

**DEVELOPER/ OWNER**

Advantage Storage
contact: Rick Jones
2221 Lakeside Blvd., Suite 1260
Richardson, TX 75082
Phone: (972) 832-8933



4222 Main Street, Dallas, Texas 75226
Firm Registration #F-22252, 214-369-2339
www.urbanstrategy.us

**FINAL PLAT**

OF
CAMBRIDGE ESTATES
LOTS 1 AND 2, BLOCK 1
6.247 ACRES / 272,107 SQUARE FEET
2548 COUNTY ROAD 2526
BEING OUT OF THE
OUT THE JAMES M. ALLEN SURVEY , ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CLOSURE SHEET

P.O.B.: North: 7019371.32' East: 2603435.67'

Segment #7 : Line

Segment #1 : Line

Course: S89° 13' 51"W Length: 167.78'  
North: 7019119.68' East: 2603607.52'

Course: N01° 04' 17"W Length: 75.66'  
North: 7019446.96' East: 2603434.26'

Segment #8 : Line

Segment #2 : Curve

Course: N00° 36' 18"W Length: 253.43'  
North: 7019373.10' East: 2603604.84'

Length: 525.35' Radius: 2560.00'  
Delta: 011° 45' 28.60" Tangent: 263.60'  
Chord: 524.43' Course: N06° 57' 02"W  
Course In: S88° 55' 42"W Course Out: N77° 10' 14"E  
RP North: 7019399.08' East: 2600874.70'  
End North: 7019967.54' East: 2603370.79'

Segment #9 : Line

Course: S89° 23' 42"W Length: 169.18'  
North: 7019371.31' East: 2603435.67'

Segment #3 : Line

Perimeter: 2593.11' Area: 6.2467acres  
Error Closure: 0.01 Course: S18° 38' 18"E  
Error North: -0.005 East: 0.002

Course: N31° 11' 22"E Length: 42.90'  
North: 7020004.24' East: 2603393.01'

Precision 1: 246911.00

Segment #4 : Line

Course: N75° 32' 39"E Length: 17.26'  
North: 7020008.55' East: 2603409.72'

Segment #5 : Curve

Length: 365.34' Radius: 557.50'  
Delta: 037° 32' 49.81" Tangent: 189.50'  
Chord: 358.84' Course: S85° 40' 55"E  
Course In: S14° 27' 20"E Course Out: N23° 05' 30"E  
RP North: 7019468.70' East: 2603548.89'  
End North: 7019981.53' East: 2603767.55'

Segment #6 : Line

The Basis of Bearing is the State Plane Coordinate System,  
Texas North Central Zone 4202, North American Datum 1983,  
Adjustment Realization 2011.

Course: S00° 30' 57"E Length: 859.63'  
North: 7019121.93' East: 2603775.28'

CLOSURE SHEET

CAMBRIDGE ESTATES  
LOTS 1 AND 2, BLOCK 1  
6.247 ACRES / 272,107 SQUARE FEET  
2548 COUNTY ROAD 2526  
BEING OUT OF THE  
OUT THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



4222 Main Street, Dallas, Texas 75226  
Firm Registration #F-1019461, 214.396.2339  
www.urbanstrategy.us

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

# PROJECT COMMENTS



CITY OF ROCKWALL  
 385 S. GOLIAD STREET  
 ROCKWALL, TEXAS 75087  
 PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: Z2023-021  
 PROJECT NAME: Zoning Change from SF-10 To SF-7  
 SITE ADDRESS/LOCATIONS: 405 N ALAMO RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by James Stringfellow and Bethany Rood of Stingfellow Holdings, LLC for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 405 N. Alamo Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	04/19/2023	Approved w/ Comments

04/19/2023: Z2023-021; Zoning Change from SF-10 to SF-7

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 405 N. Alamo Street.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2023-021) in the lower right-hand corner of all pages on future submittals.

M.4 According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the North Lakeshore District and is designated for Medium Density Residential land uses. Medium Density Residential is defined as greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre. Based on this, the proposed zoning change conforms to the Comprehensive Plan.

1.5 Please note that regardless of the submitted request -- if this zoning case is approved -- any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Single-Family 7 (SF-7) District and is situated within the SH-66 Overlay (SH-66 OV) District.

I.6 Please note that if the property is subdivided all lots will need to meet the Single-Family 7 (SF-7) District requirements, which are as follows:

- Number of Dwelling Units/Lot 1.0
- Number of Dwelling Units/Acre 6.2
- Minimum Dwelling Unit 1,100 SF
- Minimum Lot Area 7,000 SF
- Minimum Lot Width 60-Feet
- Minimum Lot Depth 100-Feet
- Minimum Front Yard Setback 20-Feet
- Minimum Rear Yard Setback 10-Feet
- Minimum Side Yard Setback 6-Feet
- Between Buildings 10-Feet
- Building Height 32-Feet

Maximum Lot Coverage 45%  
 Required Parking Spaces 2

M.7 Please review the attached Draft Ordinance prior to the April 25, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than May 4, 2023.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 25, 2023.

I.9 The projected City Council meeting dates for this case will be May 15, 2023 (1st Reading) and June 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Approved w/ Comments

04/20/2023: Informational comments.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees for expansion
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must plat the property.

Roadway Paving Items:

- Must build 5' wide sidewalk along Alamo Road.

Water and Wastewater Items:

- Show proposed utility lines (Water, Sewer, etc.)
- Fire hydrant may be needed depending on site layout. Hydrant and lead must be located within a 20' easement.

Drainage Items:

No structures allowed in easements.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/14/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/14/2023	Approved

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

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No Comments



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **22023-021**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **405 N. Alamo Rd Rockwall, TX 75087**

SUBDIVISION **North Alamo Addition** LOT **2** BLOCK **A**

GENERAL LOCATION **405 N Alamo Rd. Rockwall, TX 75087**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF10** CURRENT USE **Lot of land**

PROPOSED ZONING **SF7** PROPOSED USE **2 residential homes**

ACREAGE **1.2811** LOTS [CURRENT] **1.2511** LOTS [PROPOSED] **1.2511**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Stringfellow Holdings, LLC**  APPLICANT

CONTACT PERSON **Brittney Road or James Stringfellow** CONTACT PERSON

ADDRESS **5023 Parkview** ADDRESS

CITY, STATE & ZIP **Addison, TX 75001** CITY, STATE & ZIP

PHONE **469-450-5326** PHONE

E-MAIL **James@stringfellowholdings.com** E-MAIL

## NOTARY VERIFICATION [REQUIRED]

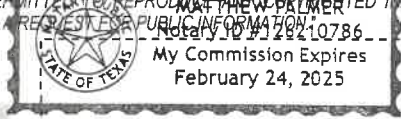
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brittney Road [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 214.22 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF April, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION." Notary Public No. 0786

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF April, 2023

OWNER'S SIGNATURE

*[Signature]*  
*[Signature]*



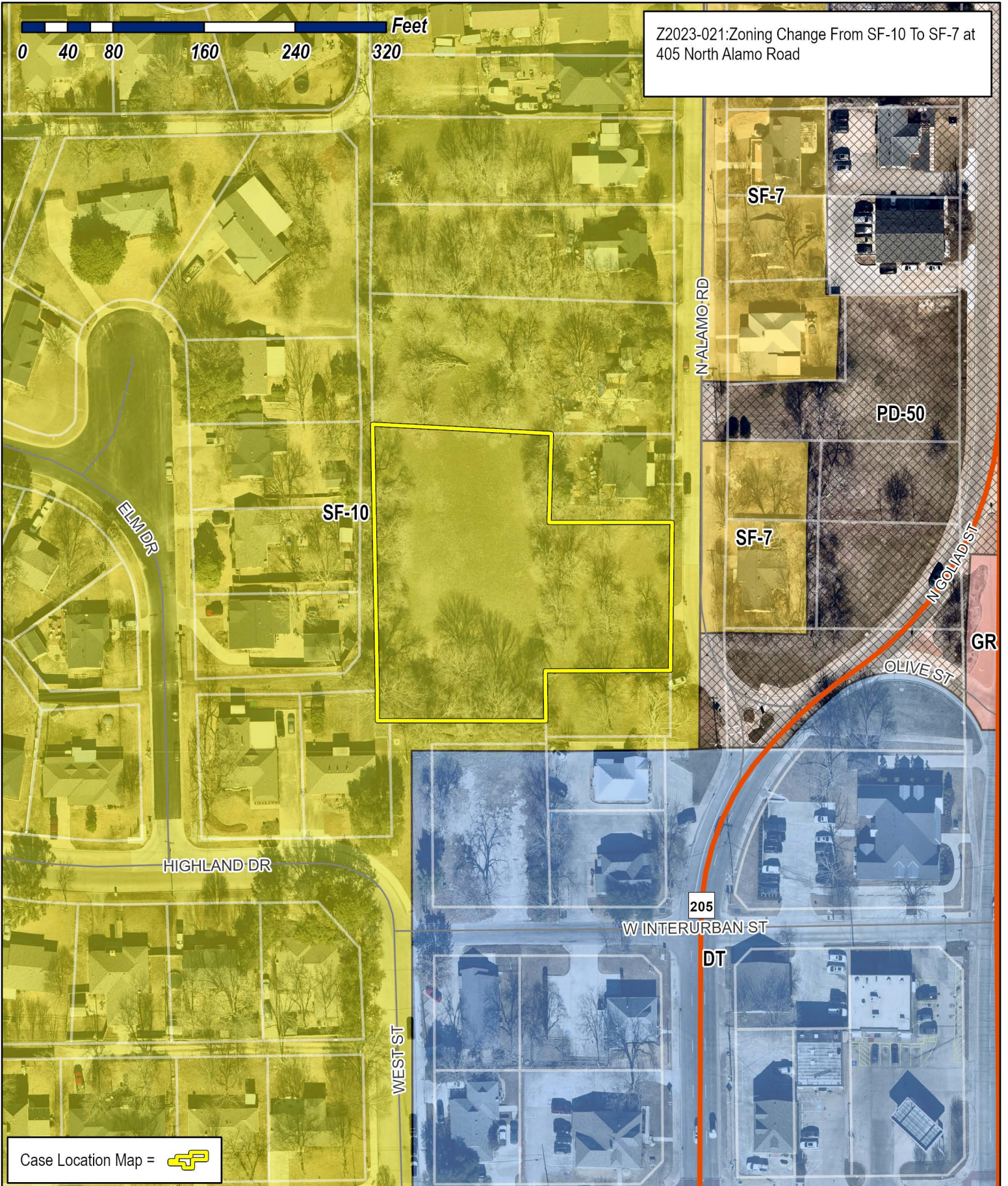
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 2/24/25





Z2023-021:Zoning Change From SF-10 To SF-7 at 405 North Alamo Road



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



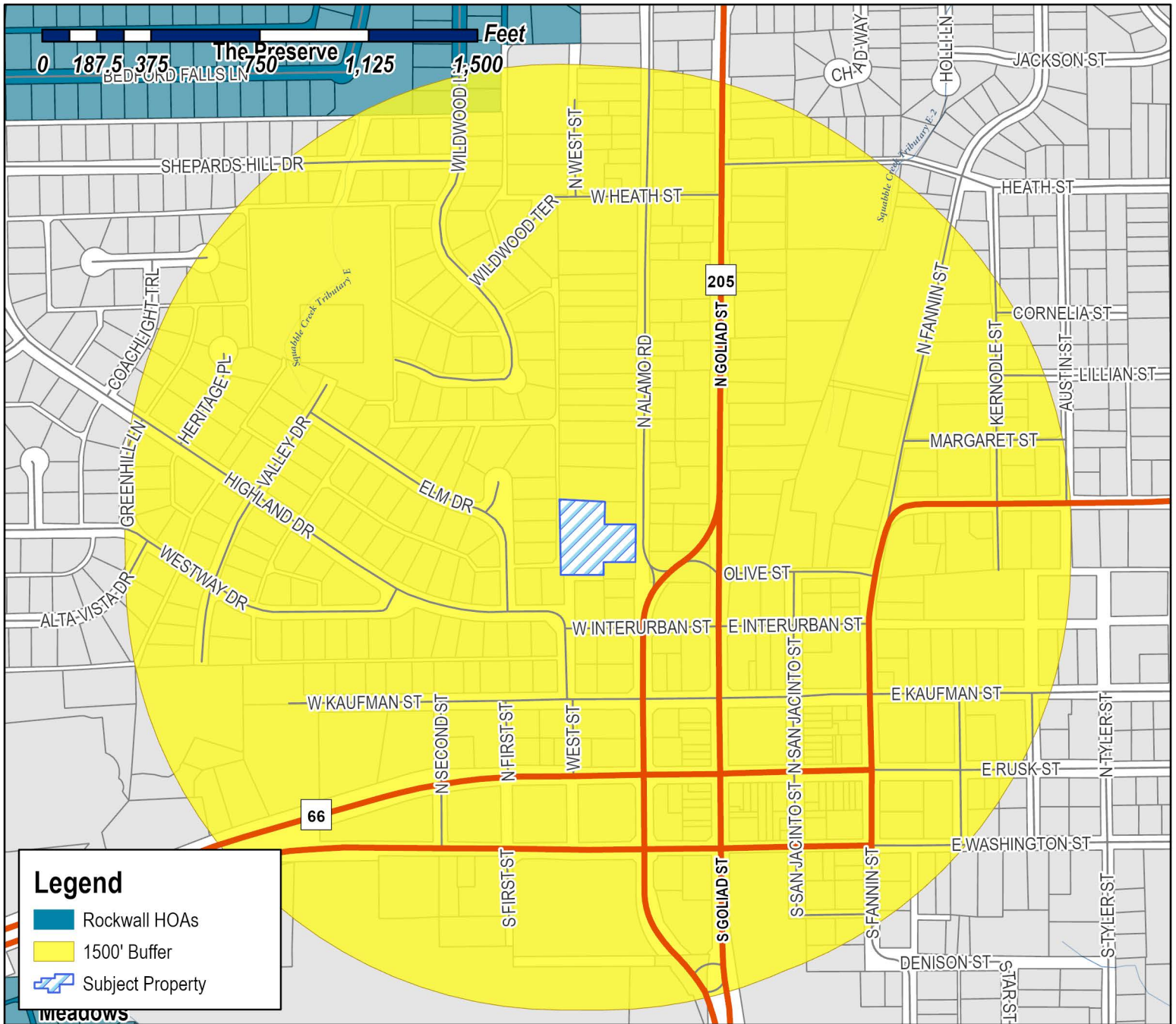




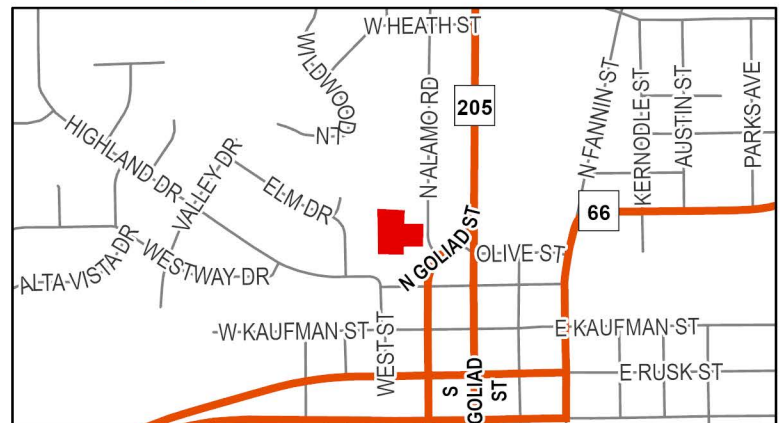
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-021  
**Case Name:** Zoning Change from SF-10 to SF-7  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 405 N. Alamo Road



**Date Saved:** 4/13/2023

For Questions on this Case Call (972) 771-7745

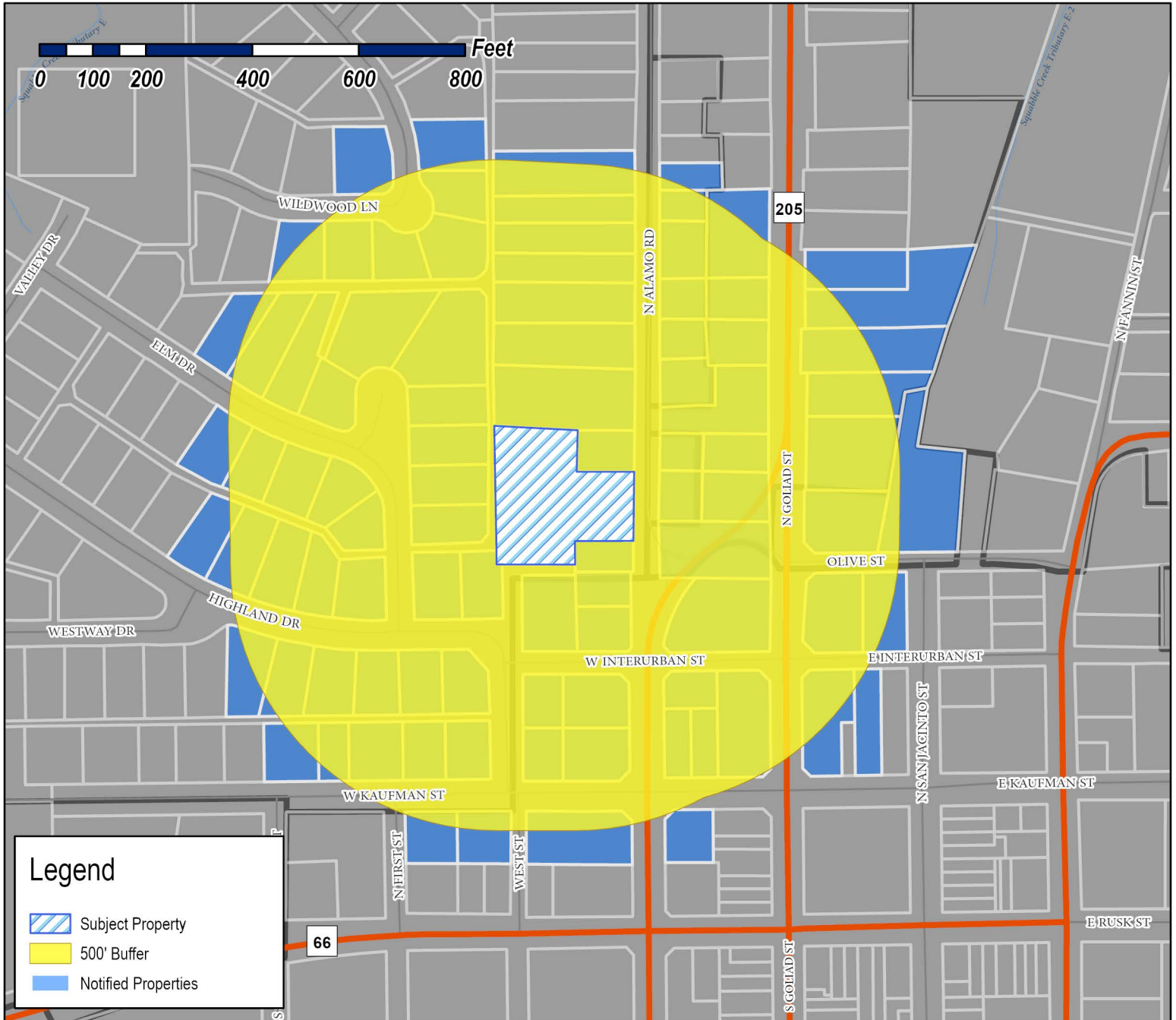




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

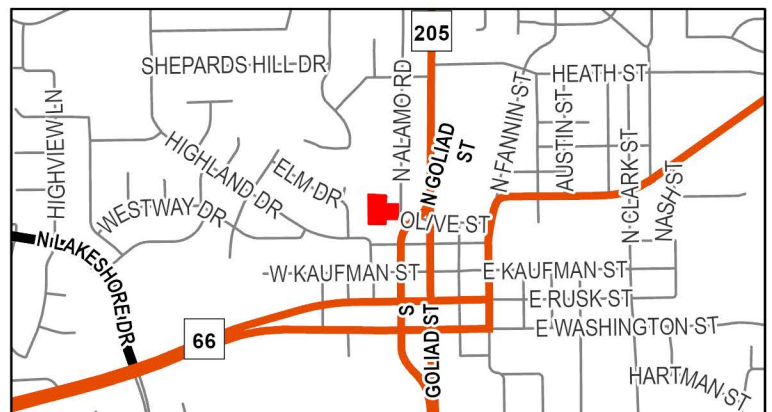
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**Legend**

- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2023-021  
**Case Name:** Zoning Change from SF-10 to SF-7  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 405 N. Alamo Road



**Date Saved:** 4/13/2023

For Questions on this Case Call: (972) 771-7746

RESIDENT  
102 W KAUFMAN  
ROCKWALL, TX 75087

SPARKS ROBERT & TANA  
103 N 1ST ST  
ROCKWALL, TX 75087

RESIDENT  
104 W KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
105 OLIVE ST  
ROCKWALL, TX 75087

105 N ALAMO LLC  
105 N ALAMO  
ROCKWALL, TX 75032

WIMPEE JOE  
105 W KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
106 W KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
107 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
108 INTERURBAN  
ROCKWALL, TX 75087

SFR TEXAS ACQUISITIONS 3 LLC  
120 S RIVERSIDE PLAZA #2000  
CHICAGO, IL 60606

LEAL CAROL RHEA  
1307 RIDGE ROAD #2317  
ROCKWALL, TX 75087

PLACE TIM & LISANNE  
1531 ZAPATA DR  
EL DORADO HILLS, CA 95762

RAYWAY PROPERTIES LLC  
1572 N MUNSON RD  
ROYSE CITY, TX 75189

WRIGHT JOHN M & SUSAN L  
1605 SEASCAPE CT  
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S  
1614 S LAKESHORE DR  
ROCKWALL, TX 75087

CGC GROUP INC  
1690 LAKE FOREST DR  
ROCKWALL, TX 75087

CRAWFORD STEVE  
1709 GASLIGHT CT  
SEABROOK, TX 77586

ARISTA KAUFMAN LLC  
1717 MAIN STREET SUITE 2950  
DALLAS, TX 75201

BLACK SHIRLEY M  
193 PORT SAINT CLAIRE  
ARANSAS PASS, TX 78336

RESIDENT  
201 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
202 INTERURBAN ST  
ROCKWALL, TX 75087

RESIDENT  
202 N WEST ST  
ROCKWALL, TX 75087

CANO OSCAR & NANCY  
203 N. ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
204 N WEST ST  
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES  
208 W HEATH ST  
ROCKWALL, TX 75087

HAYMAC VENTURES LLC  
218 CULLINS ROAD  
ROCKWALL, TX 75032

BRISCO OIL INC  
2323 STEVENS RD  
ROCKWALL, TX 75032

ROCKWALL RUSTIC RANCH LLC  
240 WILLOWCREST  
ROCKWALL, TX 75032

SEYMORE INVESTMENTS LLC  
242 C NATIONAL DR  
ROCKWALL, TX 75032

SMITH IFTACH  
2917 CHERRY SPRING CT  
PLANO, TX 75025

RESIDENT  
301 HIGHLAND DR  
ROCKWALL, TX 75087

BEDFORD TERRI W  
301 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
301 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
301 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
301 W KAUFMAN  
ROCKWALL, TX 75087

FERRIS BETH  
301 WILDWOOD LN  
ROCKWALL, TX 75087

JOHNSON AMANDA DAWN  
302 ELM DRIVE  
ROCKWALL, TX 75087

WARREN PEGGY E  
302 HIGHLAND DR  
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH  
302 N GOLIAD ST  
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH  
302 N GOLIAD ST  
ROCKWALL, TX 75087

CRANE KATHERINE LYNN  
302 W KAUFMAN ST  
ROCKWALL, TX 75087

SMITH WENDY  
303 DERICK DR  
FATE, TX 75189

WILLIAMS RONALD DAVID AND PATRICIA  
303 ELM DR  
ROCKWALL, TX 75087

WHITE SANDRA JEAN  
303 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
303 N ALAMO  
ROCKWALL, TX 75087

ANGLE GLENDA ANNE  
303 WILDWOOD LN  
ROCKWALL, TX 75087

RESIDENT  
304 HIGHLAND DR  
ROCKWALL, TX 75087

GLASS KATHLEEN J  
304 ELM DR  
ROCKWALL, TX 75087

ODEN STORMIE E AND TAYLOR C  
304 WEST KAUFMAN STREET  
ROCKWALL, TX 75087

FOUSE DORIS BURNS  
305 ELM DR  
ROCKWALL, TX 75087

WHITE RUNELLE  
305 HIGHLAND DR  
ROCKWALL, TX 75087

KING BOBBY R ETUX  
305 WILDWOOD LN  
ROCKWALL, TX 75087

BELL MARY NELL  
306 ELM DR  
ROCKWALL, TX 75087

STANLEY PAUL & SHERI  
306 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
307 WILDWOOD LN  
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)  
307 HIGHLAND DR  
ROCKWALL, TX 75087

WATCHMEN REAL ESTATE LLC  
3077 N GOLIAD  
ROCKWALL, TX 75087

SCHWEIKERT FERN ELLEN  
308 ELM DR  
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA  
308 HIGHLAND DRIVE  
ROCKWALL, TX 75087

BRADEN DAVID WAYNE  
308 WILDWOOD LANE  
ROCKWALL, TX 75087

RESIDENT  
309 WILDWOOD LN  
ROCKWALL, TX 75087

GRACE CLINE LIFE ESTATE  
MARK CLINE  
309 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
310 HIGHLAND DR  
ROCKWALL, TX 75087

GATES CHARLES H & BRENDA F  
310 ELM DR  
ROCKWALL, TX 75087

PEOPLES JOHN P  
311 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
312 ELM DR  
ROCKWALL, TX 75087

UNION BANK & TRUST CO  
SUCCESSOR TRUSTEE EMILY SUE WHITEHEAD  
REV TRUST  
312 CENTRAL AVE SE, STE 508  
MINNEAPOLIS, MN 55414

SOUTHERN ROOTS LLC  
312 DARTBROOK  
ROCKWALL, TX 75087

GARRETT GERRY B  
312 HIGHLAND DR  
ROCKWALL, TX 75087

RESIDENT  
314 HIGHLAND DR  
ROCKWALL, TX 75087

KINSEY BRIAN & TERESA  
316 ELM DRIVE  
ROCKWALL, TX 75087

SIDES DEBORAH HALE  
317 ELM DR  
ROCKWALL, TX 75087

FURGUSON RANDY AND ANGELA  
317 ELM DR  
ROCKWALL, TX 75087

TALLEY JANICE  
318 ELM DRIVE  
ROCKWALL, TX 75087

RESIDENT  
319 ELM DR  
ROCKWALL, TX 75087

RESIDENT  
320 ELM DR  
ROCKWALL, TX 75087

RESIDENT  
321 ELM DR  
ROCKWALL, TX 75087

EVANS SHARON  
322 ELM DRIVE  
ROCKWALL, TX 75087

HEALDAN GROUP INC  
3460 MARRON RD SUITE 103-144  
OCEANSIDE, CA 92056

RESIDENT  
401 N ALAMO  
ROCKWALL, TX 75087

PARKS PAIGE E  
402 W KAUFMAN ST STE 100  
ROCKWALL, TX 75087

MORENO ANTONIO AND SUZANNE T  
402 WILDWOOD LANE  
ROCKWALL, TX 75087

RESIDENT  
404 N GOLIAD  
ROCKWALL, TX 75087

KOVAR RACHAEL A  
404 WEST KAUFMAN STREET  
ROCKWALL, TX 75087

RESIDENT  
405 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
406 N GOLIAD  
ROCKWALL, TX 75087

JONES GERWYN AND JANE  
406 N ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
406 N GOLIAD  
ROCKWALL, TX 75087

PICKETT GINA  
406 W KAUFMAN ST  
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES LLC  
407 CASTLE PINES DRIVE  
HEATH, TX 75032

TREVINO BERTHA & LOUIS  
4917 SAINT JAMES CT  
MESQUITE, TX 75150

RESIDENT  
501 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
501 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
502 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
502 N GOLIAD  
ROCKWALL, TX 75087

SMITH MARY SUE  
502 W RUSK ST  
ROCKWALL, TX 75087

STRINGFELLOW HOLDINGS, LLC  
5023 PARKVIEW PLACE  
ADDISON, TX 75001

STRINGFELLOW HOLDINGS, LLC  
5023 PARKVIEW PLACE  
ADDISON, TX 75001

STRINGFELLOW HOLDINGS, LLC  
5023 PARKVIEW PLACE  
ADDISON, TX 75001

RESIDENT  
503 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
503 N GOLIAD ST  
ROCKWALL, TX 75087

BYRUM RICKY CONN AND JO ANN  
504 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
504 N GOLIAD  
ROCKWALL, TX 75087

TUCKER PAMELA  
505 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
505 N GOLIAD  
ROCKWALL, TX 75087

SOUTHERN ROOTS LLC  
505 N GOLIAD STREET  
ROCKWALL, TX 75087

LAYTON ERIC A AND APRIL L  
506 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
506 N GOLIAD  
ROCKWALL, TX 75087

FLEMING HALLIE B  
507 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
507 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
508 N ALAMO  
ROCKWALL, TX 75087

RNDI COMPANIES INC  
519 E INTERSTATE 30 # 157  
ROCKWALL, TX 75087

SIDDALL RYAN AND  
TAYLOR GILSTRAP  
5469 JEFFERSON DR  
SACHSE, TX 75048

RESIDENT  
601 N ALAMO  
ROCKWALL, TX 75087

CARDENAS CECILIO & CARMEN  
602 N ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
602 N GOLIAD  
ROCKWALL, TX 75087

HAMILTON JOANN  
603 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
603 N GOLIAD  
ROCKWALL, TX 75087

DOMINGUEZ, JOSE AND JOHANNA  
604 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
605 N ALAMO  
ROCKWALL, TX 75087

ROY LAWRENCE HANCE JR TRUST  
ROY LAWRENCE HANCE JR- TRUSTEE  
6946 SPERRY STREET  
DALLAS, TX 75214

CTC TEXAN PROPERTIES LLC  
7005 CHASE OAKS BLVD SUITE 180  
PLANO, TX 75025

RESIDENT  
703 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
703 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
706 N ALAMO  
ROCKWALL, TX 75087

RISE ACADEMY LEARNING CENTER LLC  
7106 LIBERTY GROVE RD  
ROWLETT, TX 75089

CRISWELL BARBARA  
7110 HUNT LANE  
ROCKWALL, TX 75087

MBK3 PROPERTY HOLDING CO LLC  
804 TRUMPETER WAY  
ROCKWALL, TX 75032

BACKCOUNTRY HOLDINGS LLC AND  
KYLEE KNIGHT  
8078 WHITEWING DRIVE  
FRISCO, TX 75034

WAY FAMILY TRUST  
8441 S FM ROAD 549  
ROCKWALL, TX 75032

PRECISION GLOBAL CORPORATION  
9330 LBJ FREEWAY SUITE 900  
DALLAS, TX 75243

BUTCHER MELVIN R  
PO BOX 147  
QUINLAN, TX 75474

CONSELMAN EQUITIES LLC  
PO BOX 2284  
ROCKWALL, TX 75087

MILE HIGH BORROW 1 LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261

LAND HEADQUARTERS COMPANY INC  
C/O FAIR ROAD PROPERTIES INC  
PO BOX 69  
KEY BISCAYNE, FL 33149

GGX6 LLC  
PO BOX 999  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-021: Zoning Change from SF-10 to SF-7**

Hold a public hearing to discuss and consider a request by James Stringfellow and Bethany Rood of Stringfellow Holdings, LLC for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 405 N. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 9, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 15, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 15, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-021: Zoning Change from SF-10 to SF-7**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



## Letter Of Explanation

The land at 405 N Alamo Rd. Rockwall, TX 75087 is currently zoned as SF10. We are requesting it to be rezoned as SF7 which lowers to required street clearance to 60ft. Once the lot is rezoned then we will be able to request for the large lot to be replated into two lots. We are requesting these changes in order to build two personal homes on the large lot. I am wanting to build my personal home with my family and my sister will build the other personal home for her and her family. We are wanting to build our homes next to each other to be able to provide each other support with raising our children.

James Stringfellow

469-450-8826







CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM A SINGLE-FAMILY 10 (SF-10) DISTRICT TO A SINGLE-FAMILY 7 (SF-7) DISTRICT FOR A 1.2811-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK A, NORTH ALAMO ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from James Stringfellow and Bethany Rood of Stringfellow Holdings, LLC for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Single-Family 10 (SF-10) District to Single-Family 7 (SF-7) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 7 (SF-7) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 05.03, *General Residential District Standards*; and Section 03.09, *Single-Family 7 (SF-7) District*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF JUNE, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 15, 2023

2<sup>nd</sup> Reading: June 5, 2023



**Exhibit 'A'**  
*Location Map*

Legal Description: Lot 2, Block A, North Alamo Addition

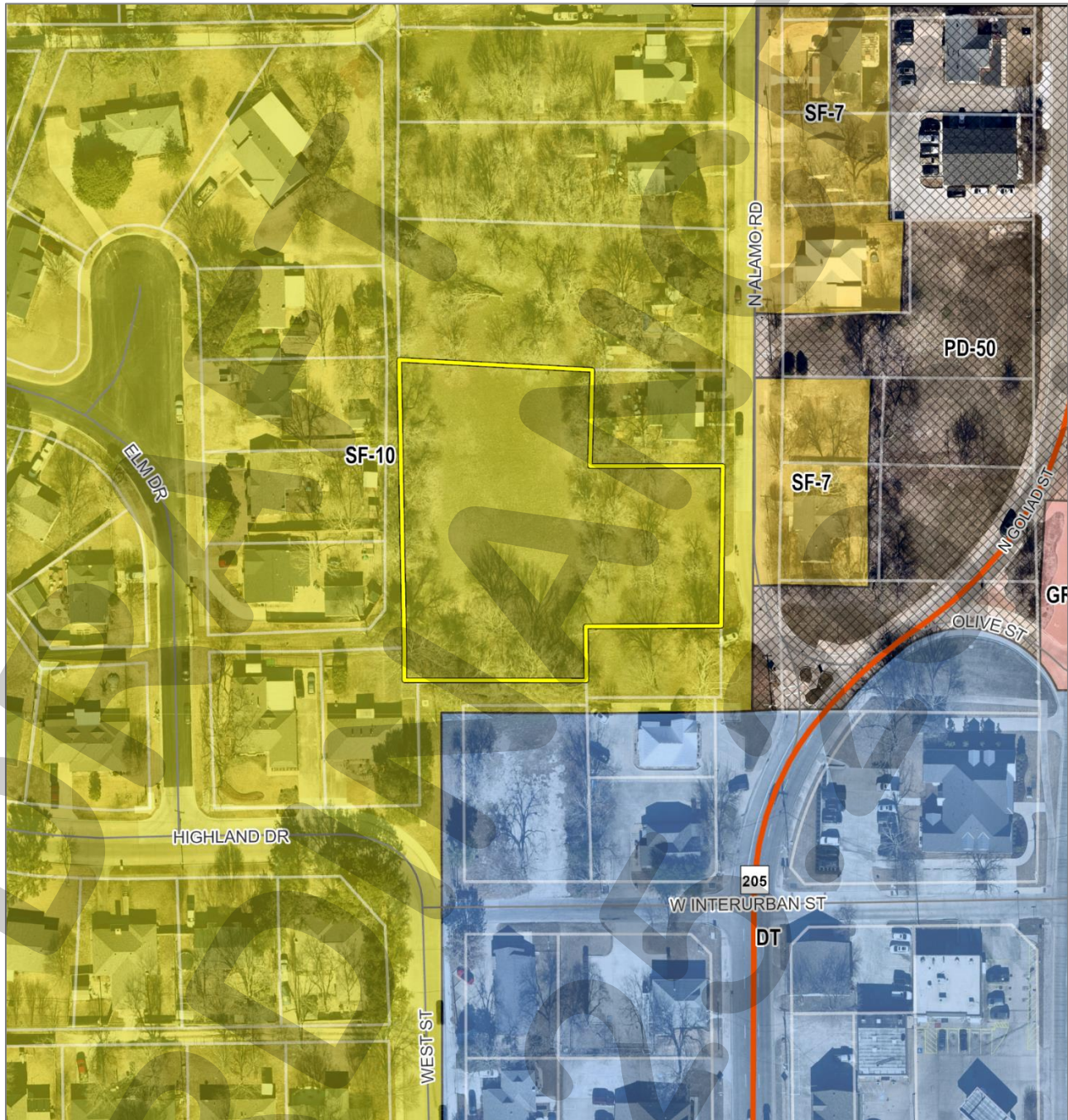
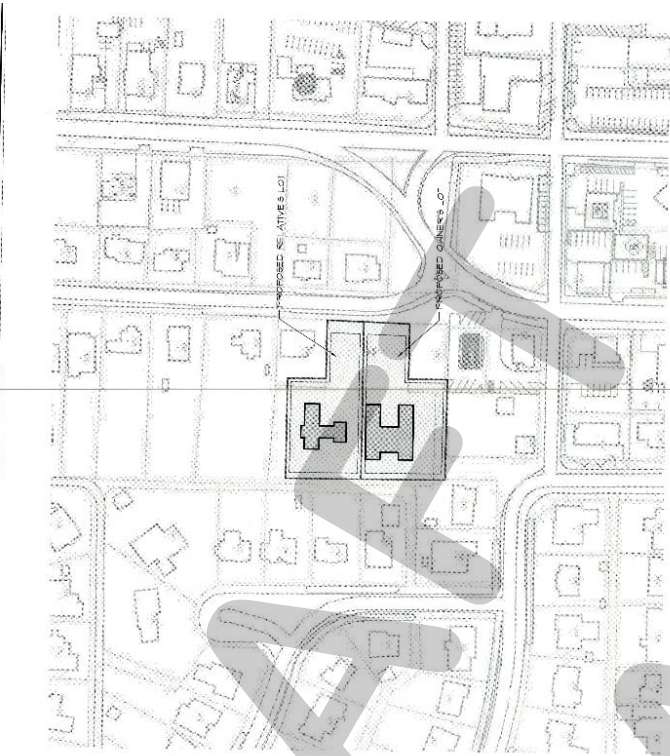
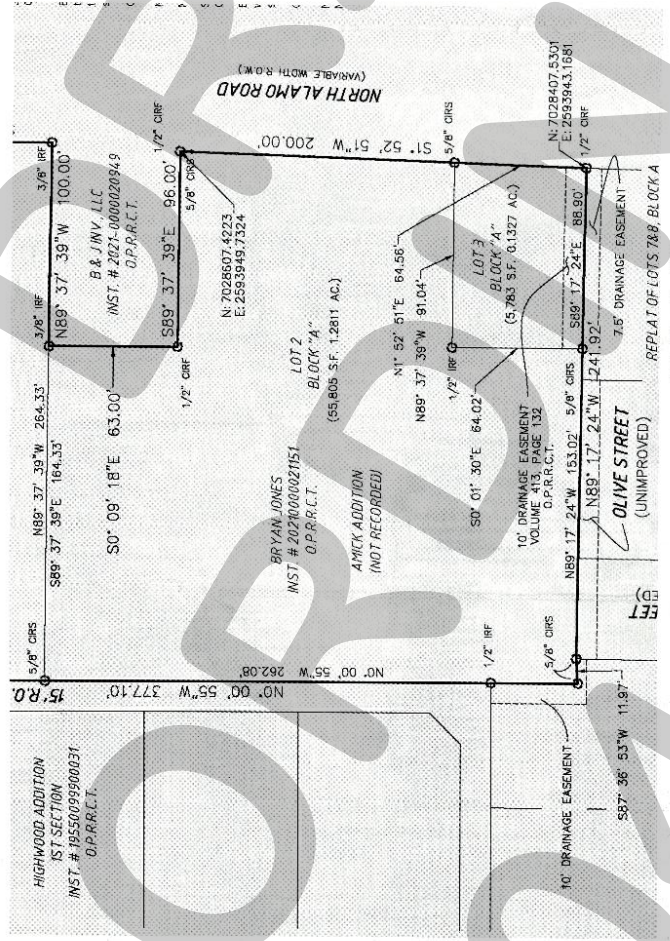




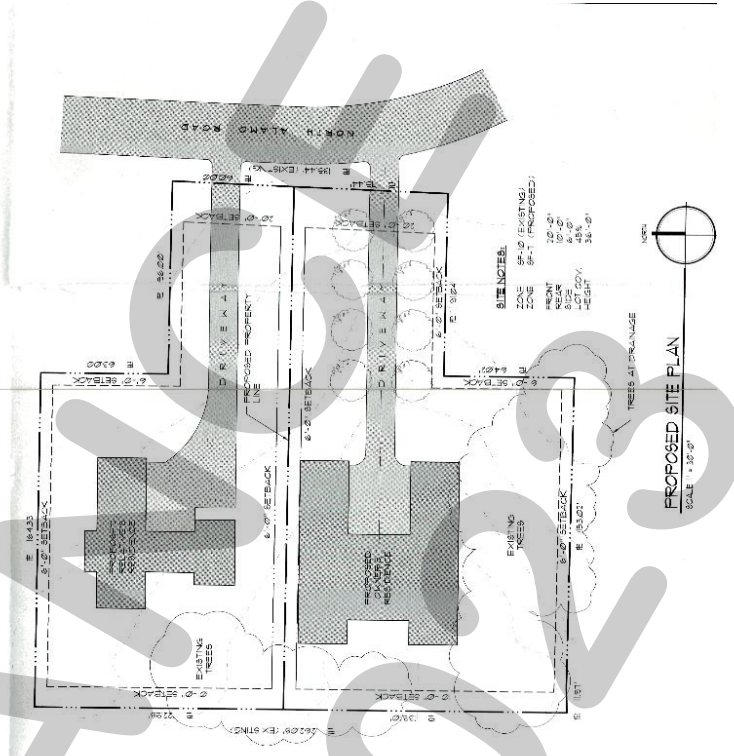
Exhibit 'B'  
Zoning Exhibit



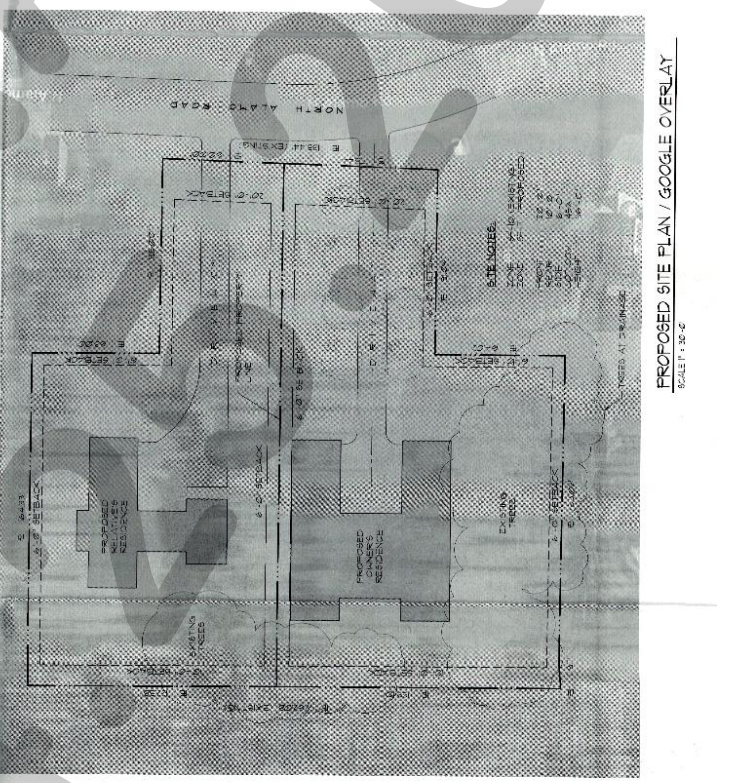
NEIGHBORHOOD PLAN  
SCALE: 1" = 80'-0"



SURVEY OF EXISTING LOT  
SCALE: 1" = 30'-0"



PROPOSED SITE PLAN  
SCALE: 1" = 30'-0"



PROPOSED SITE PLAN / GOOGLE OVERLAY  
SCALE: 1" = 30'-0"

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: Z2023-022  
PROJECT NAME: SUP for a Cell Tower  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Dewayne Cain for the approval of a Specific Use Permit (SUP) for a Freestanding Commercial Antenna on a 0.1234-acre tract of land identified as a portion of Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 100 (PD-100) for Single-Family 1 (SF-1) and General Retail (GR) District land uses, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Freestanding Commercial Antenna on a 0.1234-acre tract of land identified as a portion of Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 100 (PD-100) for Single-Family 1 (SF-1) and General Retail (GR) District land uses, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-022) in the lower right-hand corner of all pages on future submittals.

M.4 Please clarify if an ice bridge is being proposed. Ice bridges are not permitted per the Unified Development Code. (Subsection 06.02, General Overlay District Standards, of Article 05, District Development Standards, of the UDC)

I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a Commercial Freestanding Antenna is defined as, "a self-supporting, tubular shaped antenna support structure which consists of a single vertical pole fixed into the ground and/or attached to a foundation."

M.6 The site plan provided indicates two (2) 18-inch trees and one (1) 30-inch Oak tree are being removed. Tree mitigation must be provided for these trees. I must know the species of the two (2) other trees in order to calculate the mitigation. Tree mitigation is paid for as \$100.00 per inch, with trees over 25-inches being mitigated for double (i.e. the Oak will be mitigated as a 60-inch). (Section 05, Tree Mitigation Requirements, of Article 09, Tree Preservation, of the UDC)

M.7 Please shift the entire enclosure back 15-feet from the future Right-of-Way line (ROW) to the build line. In addition, there must be a 20-foot landscape buffer, with three (3) canopy and four (4) accent trees per 100-feet of frontage. These two (2) may be overlapped in lieu of moving the enclosure 35-feet back from the future ROW. If they are overlapped the parking space will need to be inside the enclosure as parking cannot be located within the landscape buffer. Currently the parking space is indicated outside the fence and within the future Right-of-Way (ROW). By shifting the enclosure back, the parking space should be maintained when the future ROW is developed. (Subsection 07.03, Non-Residential District Development Standards, of Article 05, District Development Standards, of the UDC)



M.8 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the UDC, residential adjacency standards apply for a “proposed building, structure, or device on the lot is within 150 feet of a residential district boundary.” In this case, the proposed tower is within 150-feet of a residential district. Given this, three (3) tiered landscaping is required along the west side of the enclosure. This shall include a wrought iron fence, a row of canopy trees, a row of accent trees, and a shrub row; you have already provided the fence and the shrubs. (Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the UDC)

M.9 Per the Planned Development District 100 (PD-100) standards, the maximum permissible height on the tower is 110-feet. The proposed building elevations are 115-feet. The total height must be reduced by 5-feet. (Ordinance 23-07)

I.10 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Commercial Freestanding Antenna is required to meet the following Conditional Land Use Standards:

- (1) Any necessary equipment building shall be of a material allowed by the applicable zoning district, similar in color and character to the principal building on the site; or the necessary equipment shall be contained entirely within the principal building on the property or in an underground vault.
- (2) Any necessary equipment building shall be enclosed by a decorative iron fence surrounded by a screening hedge which will achieve a height of at least six (6) feet at maturity or a masonry screening wall at least eight (8) feet in height, compatible in color with the principal building and the equipment building.
- (3) At least one (1) paved parking space with paved access thereto shall be provided at the antenna location; said parking space need not be reserved exclusively for use in conjunction with the antenna installation and may be one (1) of the spaces provided for the principal use on the property.
- (4) Administrative approval of the antenna installation shall be required prior to the issuance of any permits for construction.
- (5) No more than three (3) separate equipment buildings shall be located on a single lot.

M.11 Please review the attached draft ordinance prior to the April 25, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by May 2, 2023.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 25, 2023.

I.13 The projected City Council meeting dates for this case will be May 15, 2023 (1st Reading) and June 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review
04/20/2023: - Approach will need to be concrete. TXDOT permit required. - 10' utility easement along future ROW. No plantings or fencing allowed. - Must have a 20x9' parking space outside of the future ROW boundary so that the service vehicle can safely park outside of traffic. May use the 10' utility easement as clear parking. - - Detention will be required - Need to locate all water services for adjacent western properties. -			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/14/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

No Comments

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/14/2023	Approved

---

No Comments

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

---

No Comments



1801 VALLEY VIEW LANE  
FARMER'S BRANCH, TX 75234



4 COUNTRY PLACE CIRCLE  
DALWORTHINGTON GARDENS  
TEXAS 76016

AT&T SITE NUMBER:  
**DDL00380**

AT&T SITE NAME:  
**DDL00380**

FA CODE:  
**15682026**

PACE ID:  
**MRNTX075135**

770 DAVIS DRIVE  
ROCKWALL, TX 75087  
NEW MONOPOLE TOWER

ISSUED FOR:

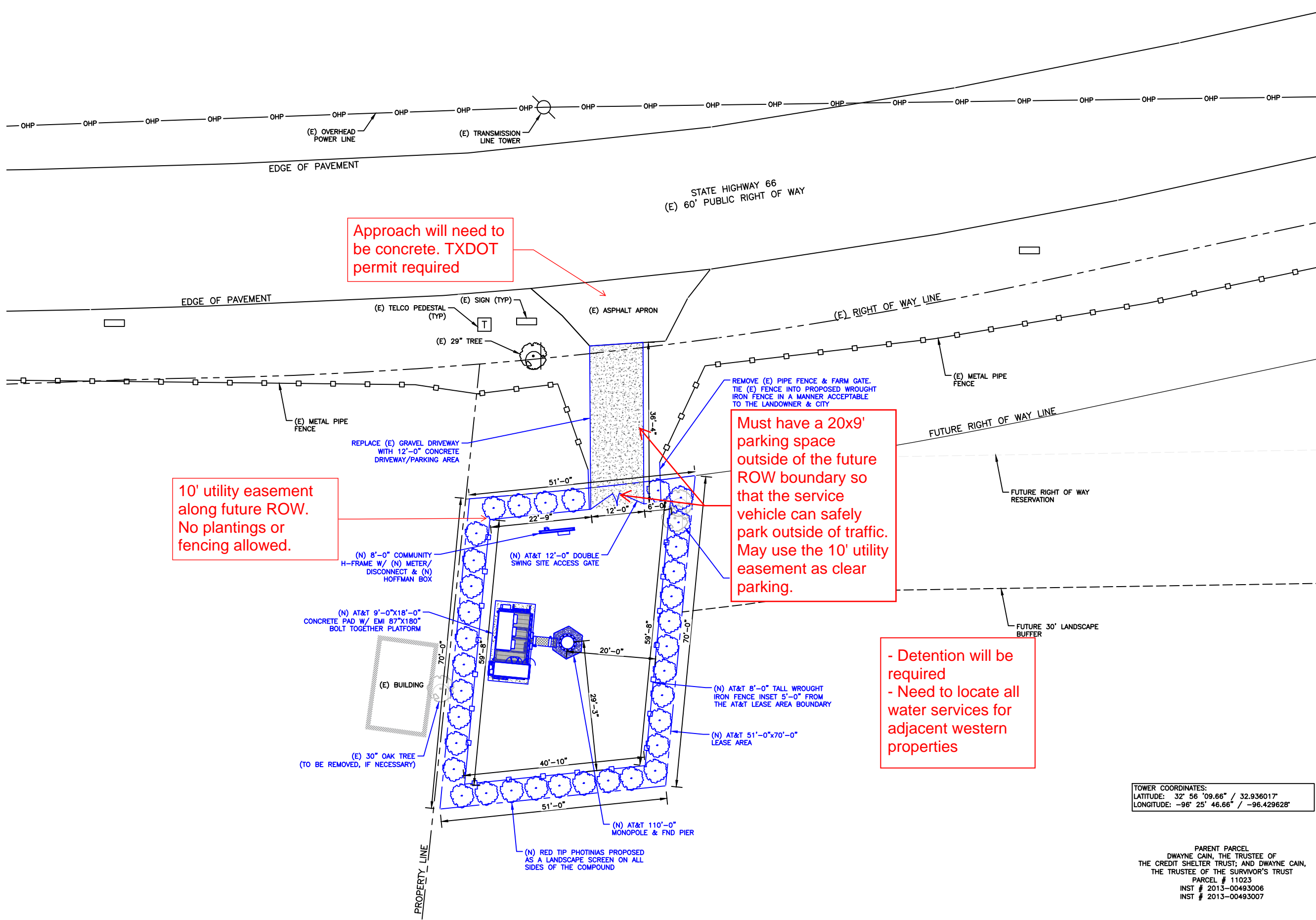
REV	DATE	DRWN	DESCRIPTION	DES./QA
LEA	04/12/2023	WHS	LEASE EXHIBIT	JK

**THIS DOCUMENT IS  
PRELIMINARY IN  
NATURE AND IS NOT  
A FINAL, SIGNED AND  
SEALED DOCUMENT**

BROADUS SERVICES  
FIRM REGISTRATION #F-23339  
4 COUNTRY PLACE CIRCLE  
DALWORTHINGTON GARDENS, TX 76016  
IT IS A VIOLATION OF LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER,  
TO ALTER THIS DOCUMENT.

SHEET NUMBER: REVISION:

**LE-1 LEA**



TOWER COORDINATES:  
LATITUDE: 32° 56' 09.66" / 32.936017  
LONGITUDE: -96° 25' 46.66" / -96.429628

PARENT PARCEL  
DWAYNE CAIN, THE TRUSTEE OF  
THE CREDIT SHELTER TRUST; AND DWAYNE CAIN,  
THE TRUSTEE OF THE SURVIVOR'S TRUST  
PARCEL # 11023  
INST # 2013-00493006  
INST # 2013-00493007

1 OVERALL SITE PLAN  
SCALE: 3/32"=1'-0" (FULL SIZE)  
3/84"=1'-0" (11x17)







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22023-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Parcel situated in David Harr Survey Abs 102

SUBDIVISION: 25.41 Cain Revocable Trust Property      LOT:      BLOCK:     

GENERAL LOCATION: located east of W.D. Boom Add. adjacent to and south of 5166 centered between J. King Blvd, 3544

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	AG
PROPOSED ZONING	PD	PROPOSED USE	AG w/ lease for cell tower
ACREAGE	25.41	LOTS [CURRENT]	LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Dwayne Cain	<input checked="" type="checkbox"/> APPLICANT	Douphrate & Assoc., Inc
CONTACT PERSON		CONTACT PERSON	Dub Douphrate
ADDRESS	305 Stonebridge Dr.	ADDRESS	2235 Ridge Rd
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	214 533 8644	PHONE	972 742 2210
E-MAIL	dwaynecain25@outlook.com	E-MAIL	wldouphrate@douphrate.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dwayne Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

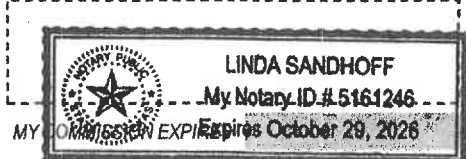
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF Feb. 2023

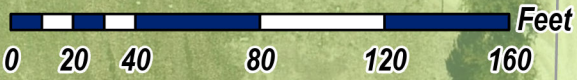
OWNER'S SIGNATURE

*Dwayne Cain*  
*Linda Sandhoff*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Z2023-022: Specific Use Permit for a Freestanding Commercial Antenna

AG

66

SF-1

PD-100

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



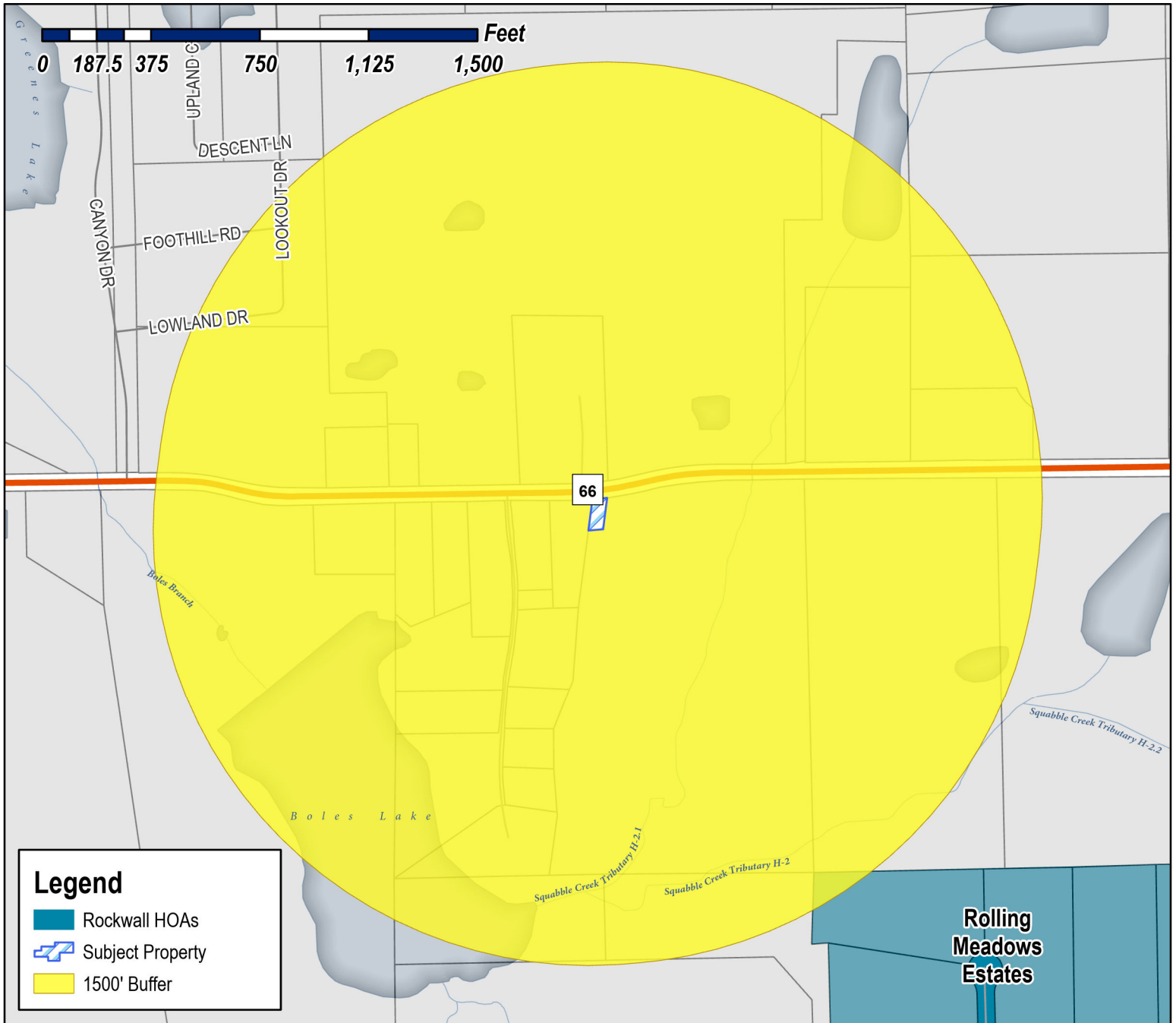




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

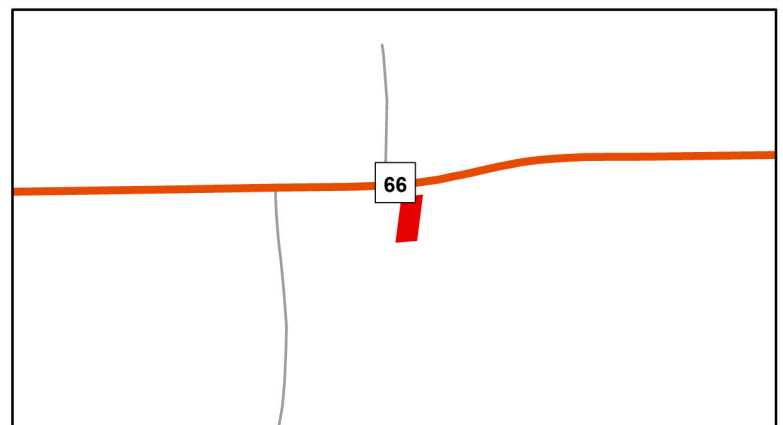
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**Case Number:** Z2023-022  
**Case Name:** SUP for a Freestanding Commercial Antenna  
**Case Type:** Zoning  
**Zoning:** Planned Development District 100 (PD-100)  
**Case Address:** Parcel between John King Blvd. & FM549

**Date Saved:** 4/14/2023

For Questions on this Case Call (972) 771-7745

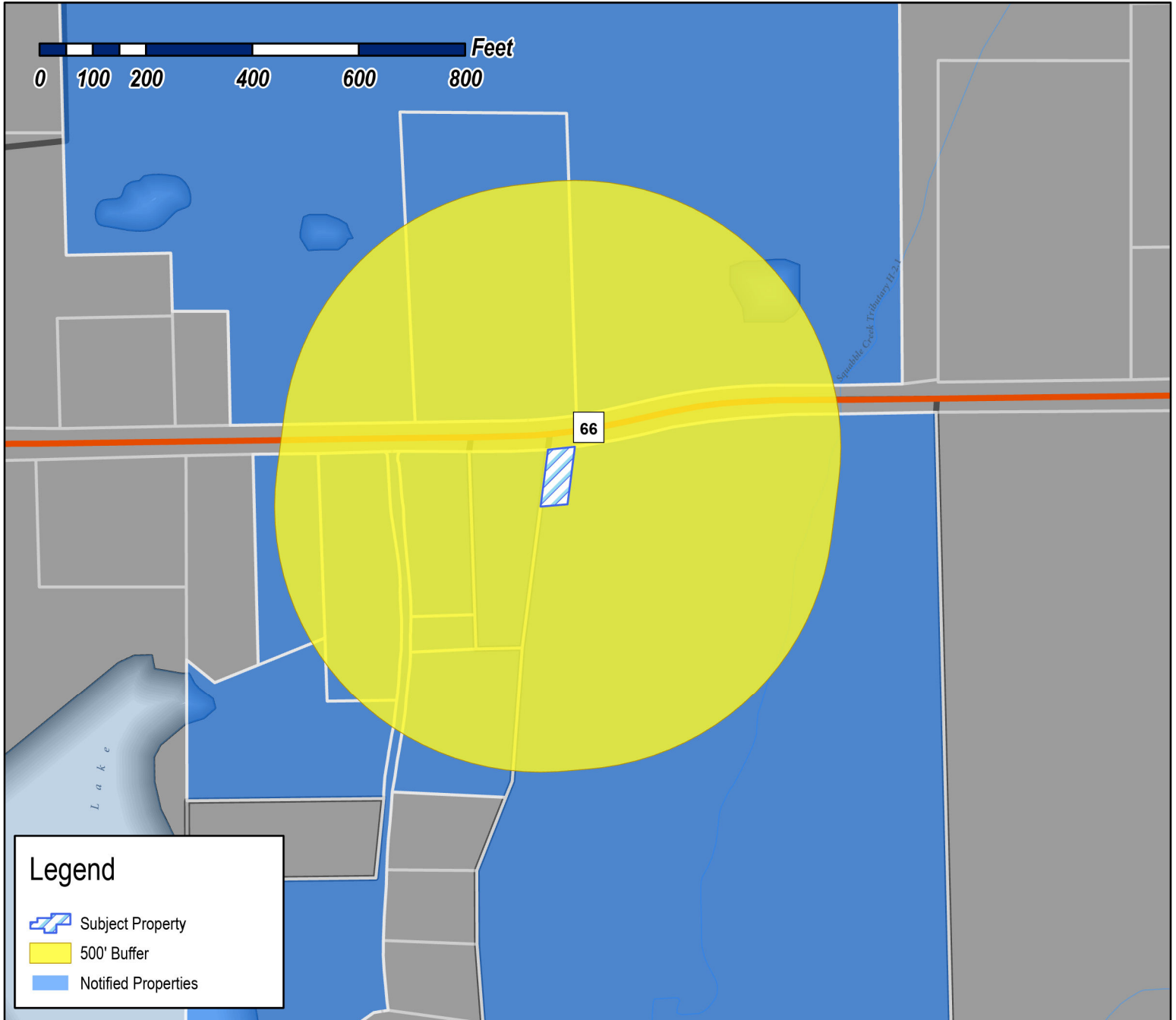




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2023-022  
**Case Name:** SUP for a Freestanding Commercial Antenna  
**Case Type:** Zoning  
**Zoning:** Planned Development District 100 (PD-100)  
**Case Address:** Parcel between John King Blvd. & FM549

**Date Saved:** 4/14/2023

For Questions on this Case Call: (972) 771-7746





CONFIDENTIAL  
152 HILL LN  
ROCKWALL, TX 75087

COLLIER JUDY KAY AND  
THERESA ROBBINS  
1780 WILLIAMS ST  
ROCKWALL, TX 75087

RATHER JACOB AND  
NOAH MCILRATH  
1790 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
1800 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
2294 E STATE HIGHWAY 66  
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD  
305 STONEBRIDGE DR  
ROCKWALL, TX 75087

RYAN BILL K  
330 VZ CR 2207  
CANTON, TX 75103

MA MICHAEL D AND CAROLINE J G MOORE  
725 DAVIS DR  
ROCKWALL, TX 75087

RINKEVICH FAMILY LIVING TRUST  
JOSEPH W RINKEVICH- TRUSTEE  
740 DAVIS DR  
ROCKWALL, TX 75087

RESIDENT  
745 DAVIS DR  
ROCKWALL, TX 75087

COOK SHERRY LYNN  
760 DAVIS DRIVE  
ROCKWALL, TX 75087

WIDBOOM ROBBY AND KYLIE  
770 DAVIS DR  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

RAINES SHERYL  
PO BOX 412  
ROCKWALL, TX 75087

April 12, 2023

Ryan Miller  
Director of Planning  
City of Rockwall, Texas

Re: Request for SUP to construct Cell Tower

Dear Ryan,

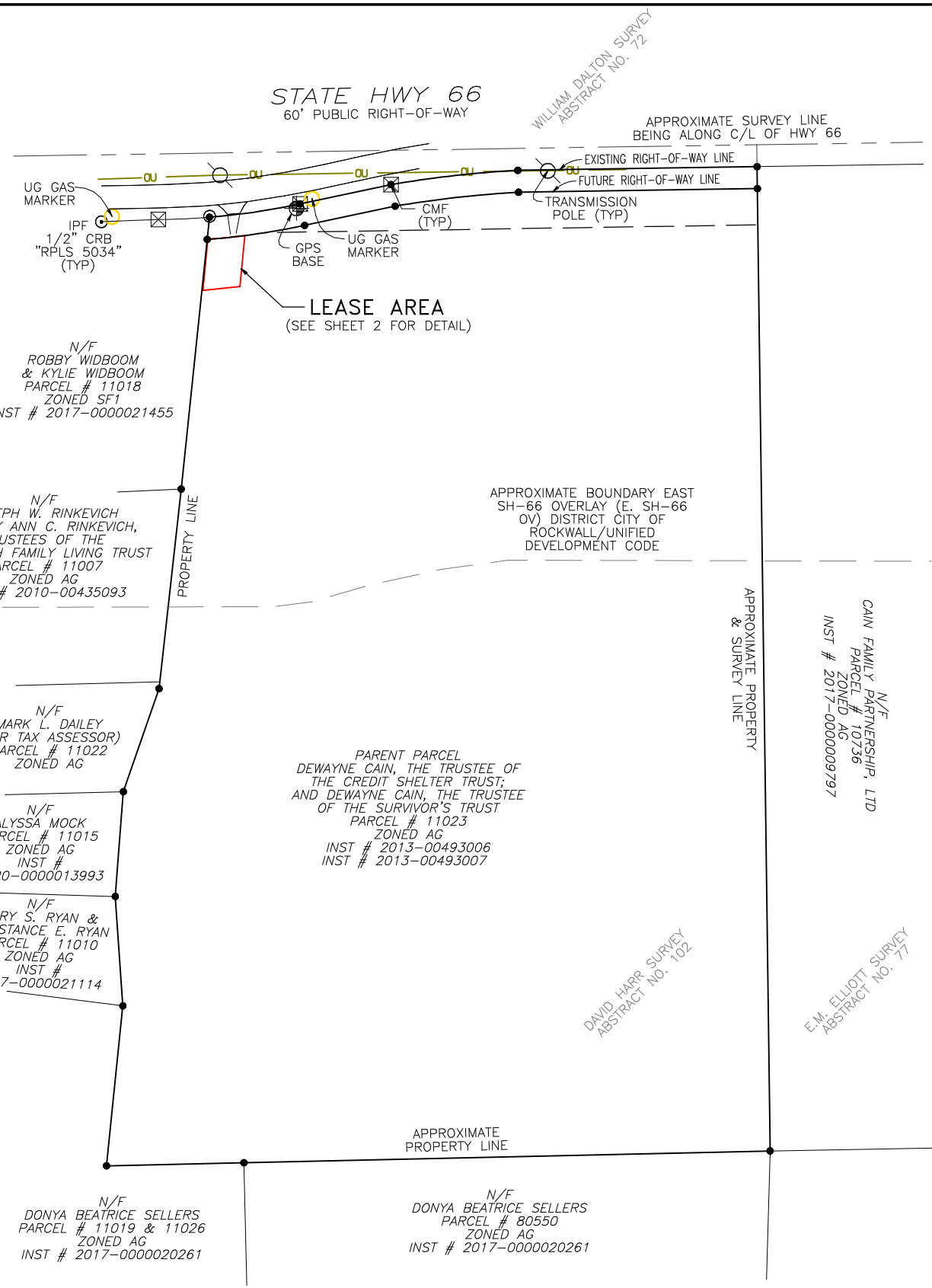
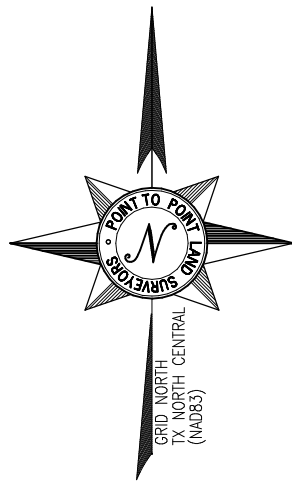
On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to obtain a Special Use Permit to construct a cell tower on the 25.41 Acre tract owned by Dewayne Cain listed under the 25.41 Cain Revocable Trust property located on SH 66 centered between John King Blvd and FM 3549 .

Should you have any questions regarding this request please let me know.

Sincerely,

*W.L. Douphrate II*

W.L. Douphrate II, P.E.



**PARENT PARCEL**

OWNER: DEWAYNE CAIN, THE TRUSTEE OF THE CREDIT SHELTER TRUST; AND DEWAYNE CAIN, THE TRUSTEE OF THE SURVIVOR'S TRUST  
 SITE ADDRESS: 770 STATE HWY 66, ROCKWALL, TX 75087  
 PARCEL ID: 11023  
 AREA: 25.8700 ACRES (PER TAX ASSESSOR)  
 ZONED: AG (PER CITY OF ROCKWALL GIS)  
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS  
 REFERENCE:  
 INSTRUMENT NO. 2013-00493006  
 INSTRUMENT NO. 2013-00493007

**GPS NOTES**

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:  
 POSITIONAL ACCURACY: 0.01 FEET (HORZ) 0.25 FEET (VERT)  
 TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY  
 TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE  
 DATES OF SURVEY: 05/10/2022  
 DATUM / EPOCH: NAD\_83(2011)(EPOCH:2010.0000)  
 PUBLISHED / FIXED CONTROL USE: N/A  
 GEOID MODEL: 18  
 COMBINED GRID FACTOR(S): 0.99985127 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.  
 CONVERGENCE ANGLE: 1.12934722"  
 BENCHMARKS USED: DF8988, DF4385, DL9084

N/F ROBBY WIDBOOM & KYLIE WIDBOOM  
 PARCEL # 11018  
 ZONED SF1  
 INST # 2017-0000021455

N/F JOSEPH W. RINKEVICH & MARY ANN C. RINKEVICH, TRUSTEES OF THE RINKEVICH FAMILY LIVING TRUST  
 PARCEL # 11007  
 ZONED AG  
 INST # 2010-00435093

N/F MARK L. DAILEY (PER TAX ASSESSOR)  
 PARCEL # 11022  
 ZONED AG

N/F ALYSSA MOCK  
 PARCEL # 11015  
 ZONED AG  
 INST # 2020-0000013993

N/F GARY S. RYAN & CONSTANCE E. RYAN  
 PARCEL # 11010  
 ZONED AG  
 INST # 2017-0000021114

N/F DONYA BEATRICE SELLERS  
 PARCEL # 11019 & 11026  
 ZONED AG  
 INST # 2017-0000020261

PARENT PARCEL  
 DEWAYNE CAIN, THE TRUSTEE OF THE CREDIT SHELTER TRUST; AND DEWAYNE CAIN, THE TRUSTEE OF THE SURVIVOR'S TRUST  
 PARCEL # 11023  
 ZONED AG  
 INST # 2013-00493006  
 INST # 2013-00493007

N/F DONYA BEATRICE SELLERS  
 PARCEL # 80550  
 ZONED AG  
 INST # 2017-0000020261



VICINITY MAP  
 NOT TO SCALE  
**GENERAL NOTES**

\* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF JACOBS TELECOMMUNICATIONS AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

BASIS OF BEARING: GPS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY.

BASIS OF ELEVATION: GPS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35 [DATE OF LAST FIELD VISIT: 05/10/2022]

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON TEXAS GRID NORTH (NAD 83) NORTH CENTRAL ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. : 48397C0045L DATED: 09/26/2008

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

TEXAS REGISTRATION NO. 10194197

I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND UNDER MY SUPERVISION. THE HORIZONTAL DATUM (COORDINATES) ARE IN THE TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND ARE EXPRESSED AS DEGREES, MINUTES AND SECONDS, TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (HEIGHTS) ARE IN TERMS OF NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT.



Signature of Justin Kyle Lawrence

NO.	DATE	REVISION
1	3/23/23	LEASE AREA

SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT LAND SURVEYORS**  
 100 Governors Trace, Ste. 103  
 Peachtree City, GA 30269  
 (p) 678.565.4440 (f) 678.565.4497  
 (w) pointtopointsurvey.com  
 Texas Registration No. 10194197



SPECIFIC PURPOSE SURVEY PREPARED FOR:



5449 BELLS FERRY ROAD,  
 ACWORTH, GA 30102

DDL00380

DAVID HARR SURVEY,  
 ABSTRACT 102,  
 ROCKWALL COUNTY, TEXAS

DRAWN BY: AJT  
 CHECKED BY: JKL  
 APPROVED: D. MILLER  
 DATE: MAY 13, 2022  
 P2P JOB #: 220743TX

SHEET:  
**1**  
 OF 3

**SURVEYOR'S CERTIFICATION**

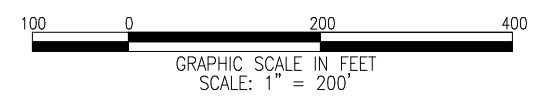
I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

Signature of Justin Kyle Lawrence  
 DATE: 05/13/2022  
 JUSTIN KYLE LAWRENCE  
 TEXAS PROFESSIONAL LAND SURVEYOR LICENSE NO. 6589

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

**LEGEND**

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPF	IRON PIN FOUND
CRB	CAPPED REBAR
CMF	CONCRETE MONUMENT FOUND
TYP	TYPICAL
OU	OVERHEAD UTILITY
UG	UNDERGROUND
N/F	NOW OR FORMERLY
R/W	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT
BWF	BARBED WIRE FENCE



[SURVEY NOT VALID WITHOUT SHEETS 2 & 3 OF 3]

**811**  
 Know what's below.  
 Call before you dig.

E:\Vrebox (Point To Point)\P2P Current Jobs\2022\220743TX-00100380\220743TX.rpt





# LEGAL DESCRIPTION SHEET

## PARENT PARCEL

(PER FILE NO. UST70613)

TRACT 1: BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, AND BEING IN THE DAVID HARR SURVEY, ABSTRACT NO. 102, AND BEING PART OF 43.0625 ACRE TRACT, DESCRIBED IN VOLUME 48, PAGE 440, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING IN THE NORTHEAST CORNER OF ABOVE MENTIONED TRACT ON SOUTH ROW OF HIGHWAY 66;

THENCE NORTH 86 DEGREES 51' 02" WEST, 359.56 FEET WITH ROW LINE TO POINT OF CURVE TO LEFT;

THENCE WITH CURVE LEFT 191.37 FEET TO POINT TANGENT;

THENCE SOUTH 80 DEGREES 32' 63" WEST, 84.75 FEET WITH SOUTH ROW LINE TO POINT OF CURVE TO RIGHT;

THENCE WITH CURVE RIGHT 128.58 FEET TO IRON POST FOR CORNER;

THENCE SOUTH 08 DEGREES 30' 45" WEST 493.08 FEET TO IRON STAKE FOR CORNER;

THENCE SOUTH 08 DEGREES 30' 00" WEST 150 FEET TO IRON STAKE FOR CORNER; THENCE SOUTH 08 DEGREES 30' 00" WEST 6.89 FEET TO IRON STAKE FOR CORNER; THENCE SOUTH 22 DEGREES 25' 36" WEST, 158.92 FEET TO IRON STAKE FOR CORNER;

THENCE SOUTH 04 DEGREES 42' 01" WEST 135 FEET TO IRON STAKE FOR CORNER; THENCE SOUTH 01 DEGREES 31' 12" EAST 150 FEET TO IRON STAKE FOR CORNER; THENCE SOUTH 08 DEGREES 26' 36" EAST 223.86 FEET TO IRON STAKE FOR CORNER; THENCE SOUTH 82 DEGREES 26' 36" EAST 931.52 FEET TO IRON STAKE FOR CORNER; THENCE NORTH 00 DEGREES 45' 25" EAST 1337.11 FEET TO IRON STAKE FOR CORNER AND POINT OF BEGINNING AND CONTAINING 25.867 ACRES OF LAND MORE OR LESS.

## TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY U.S. TITLE SOLUTIONS, REPORT DATE OF MARCH 4, 2022, SEARCH START DATE OF JANUARY 1, 1973, END DATE OF JANUARY 17, 2022, BEING FILE NO. UST70613, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

### 1. MORTGAGES, DEEDS OF TRUST AND UCCS

1. DEED OF TRUST MADE BY, CAIN REVOCABLE FAMILY TRUST, TO, ROBERT HAWK, TRUSTEE, DON R. STODGHILL, IN THE SUM OF \$210,000.00, DATED OCTOBER 23, 2008, RECORDED OCTOBER 27, 2008, IN INSTRUMENT NO: 2008-00407167.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.]

### 3. COVENANTS AND RESTRICTIONS

3.1 RESTRICTIONS AS SET FORTH IN DEED 108/499 , DEED 110/148 HOWEVER PLEASE SEE MODIFICATION 121/862 DELETING SUCH RESTRICTIONS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.]

### 4. EASEMENTS AND RIGHTS OF WAY

4.1 RIGHT OF WAY AGREEMENT BY J. DIANE FOLZENLOGEN AND BENNIE R. CLARK TO LONE STAR GAS, DATED OCTOBER 19, 1973, RECORDED JANUARY 15, 1974, IN BOOK 112, PAGE 88. NOTES: RIGHT OF WAY AND EASEMENT PURPOSES

[THIS ITEM MAY BE APPLICABLE TO THE PARENT PARCEL; HOWEVER, THE DISCRPTION IS VAGUE, AND THEREFORE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

4.2 EASEMENT BY J. DIANE FOLZENLOGEN AND BENNIE R. CLARK TO OWEN S. DAVIS AND H. RACHEL DAVIS, DATED MAY 11, 1973, RECORDED MAY 16, 1973, IN BOOK 108, PAGE 502. NOTES: WATER PIPE LINE PURPOSES

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL; HOWEVER, IT IS NOT PLOTTED HEREON BECAUSE THE DISCRPTION IS VAGUE, AND THEREFORE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

## LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN DAVID HARR SURVEY, ABSTRACT NO. 102, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF THE LANDS OF DEWAYNE CAIN, THE TRUSTEE OF THE CREDIT SHELTER TRUST; AND DEWAYNE CAIN, THE TRUSTEE OF THE SURVIVOR'S TRUST, AS RECORDED IN INSTRUMENT NOS. 2013-00493006 AND 2013-00493007, ROCKWALL COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A CONCRETE MONUMENT FOUND ON THE SOUTHERN RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 66 (HAVING A 60-FOOT PUBLIC RIGHT-OF-WAY), SAID MONUMENT HAVING A TEXAS GRID NORTH, NAD 83, NORTH CENTRAL ZONE VALUE OF N: 7029808.7400 E: 2603726.3906; THENCE RUNNING FOR A TIE LINE, SOUTH 60°13'14" WEST 86.99 FEET TO A POINT LOCATED ON THE SOUTH SIDE OF A FUTURE 30 FOOT WIDE RIGHT-OF-WAY DEDICATION LINE, SAID POINT HAVING A TEXAS GRID NORTH, NAD 83, NORTH CENTRAL ZONE VALUE OF N: 7029765.5369 E: 2603650.8910, AND THE TRUE POINT OF BEGINNING;

THENCE CONTINUING, SOUTH 05°26'56" WEST, 70.00 FEET TO A POINT;

THENCE, SOUTH 84°08'18" WEST, 50.99 FEET TO A POINT;

THENCE, NORTH 05°26'56" EAST, 70.00 FEET TO A POINT LOCATED ON THE AFORESAID SOUTH SIDE OF A FUTURE 30 FOOT WIDE RIGHT-OF-WAY DEDICATION LINE;

THENCE RUNNING WITH SAID DEDICATION LINE, 51.00 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1020.00 FEET AND BEING SCRIBED BY A CHORD BEARING NORTH 84°08'18" EAST, 50.99 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

BEARINGS BASED ON TEXAS GRID NORTH, NAD 83, NORTH CENTRAL ZONE.

SAID TRACT CONTAINS 0.0801 ACRES (3,489 SQUARE FEET), MORE OR LESS.



*Justin Kyle Lawrence*

NO.	DATE	REVISION
1	3/23/23	LEASE AREA

\* SPECIFIC PURPOSE SURVEY PREPARED BY:

**POINT TO POINT LAND SURVEYORS**

100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com  
Texas Registration NO. 10194197



SPECIFIC PURPOSE SURVEY PREPARED FOR:

**JACOBS**

5449 BELLS FERRY ROAD,  
ACWORTH, GA 30102

DDL00380

DAVID HARR SURVEY,  
ABSTRACT 102,  
ROCKWALL COUNTY, TEXAS

DRAWN BY: AJT	SHEET:
CHECKED BY: JKL	<b>3</b>
APPROVED: D. MILLER	
DATE: MAY 13, 2022	OF 3
P2P JOB #: 220743TX	

SURVEY NOT VALID WITHOUT SHEETS 1 & 2 OF 3

E:\Dropbox (Point To Point)\P2P Current Jobs\2022\220743TX-001\00380\220743TX.dwg



1801 VALLEY VIEW LANE  
FARMER'S BRANCH, TX 75234



4 COUNTRY PLACE CIRCLE  
DALWORTHINGTON GARDENS  
TEXAS 76016

AT&T SITE NUMBER:  
**DDL00380**

AT&T SITE NAME:  
**DDL00380**

FA CODE:  
**15682026**

PACE ID:  
**MRNTX075135**

770 DAVIS DRIVE  
ROCKWALL, TX 75087

NEW MONOPOLE TOWER

ISSUED FOR:

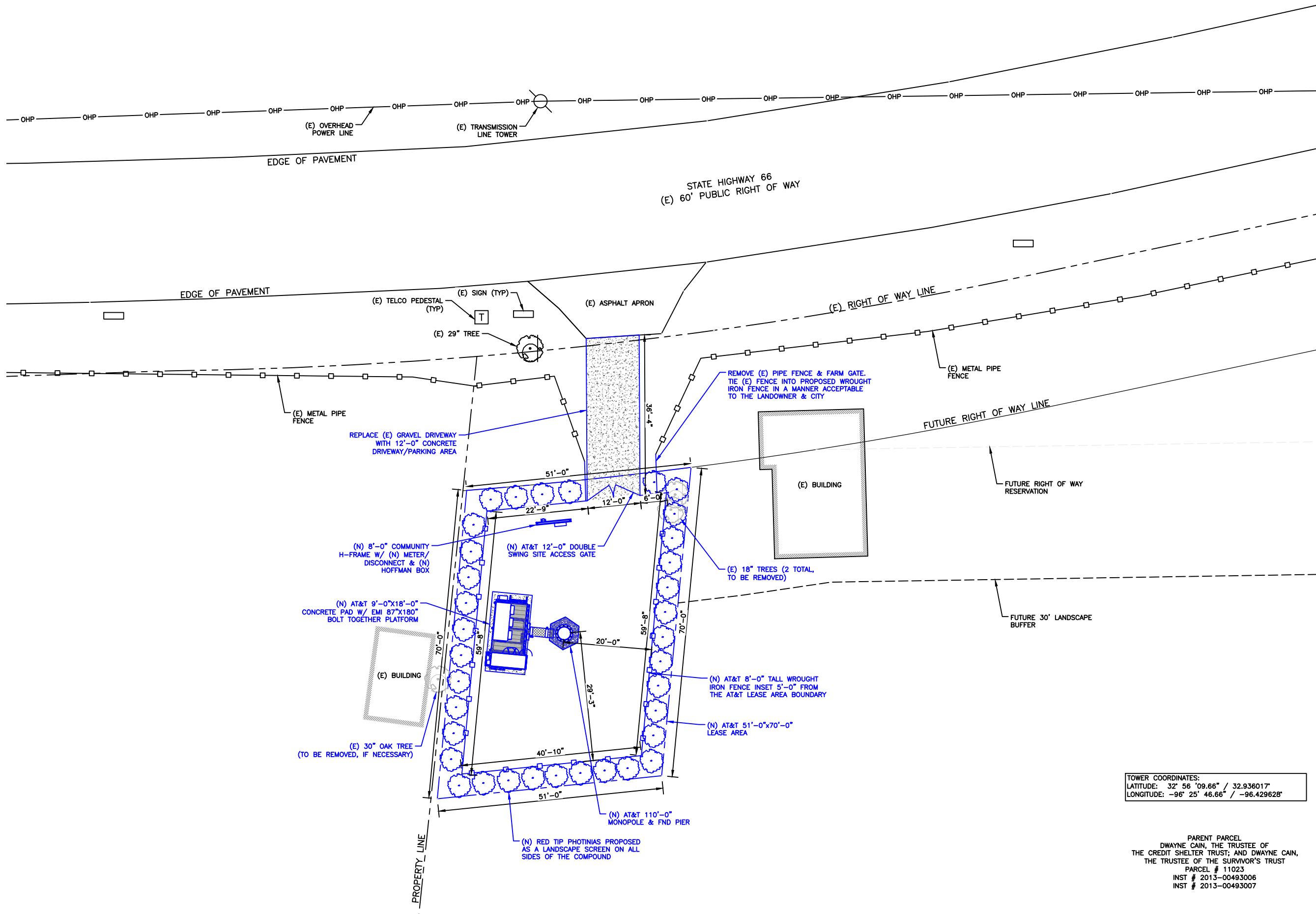
REV	DATE	DRWN	DESCRIPTION	DES./QA
LEA	04/12/2023	WHS	LEASE EXHIBIT	JK

**THIS DOCUMENT IS  
PRELIMINARY IN  
NATURE AND IS NOT  
A FINAL, SIGNED AND  
SEALED DOCUMENT**

BROADUS SERVICES  
FIRM REGISTRATION #F-23339  
4 COUNTRY PLACE CIRCLE  
DALWORTHINGTON GARDENS, TX 76016  
IT IS A VIOLATION OF LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER,  
TO ALTER THIS DOCUMENT.

SHEET NUMBER: REVISION:

LE-1 LEA



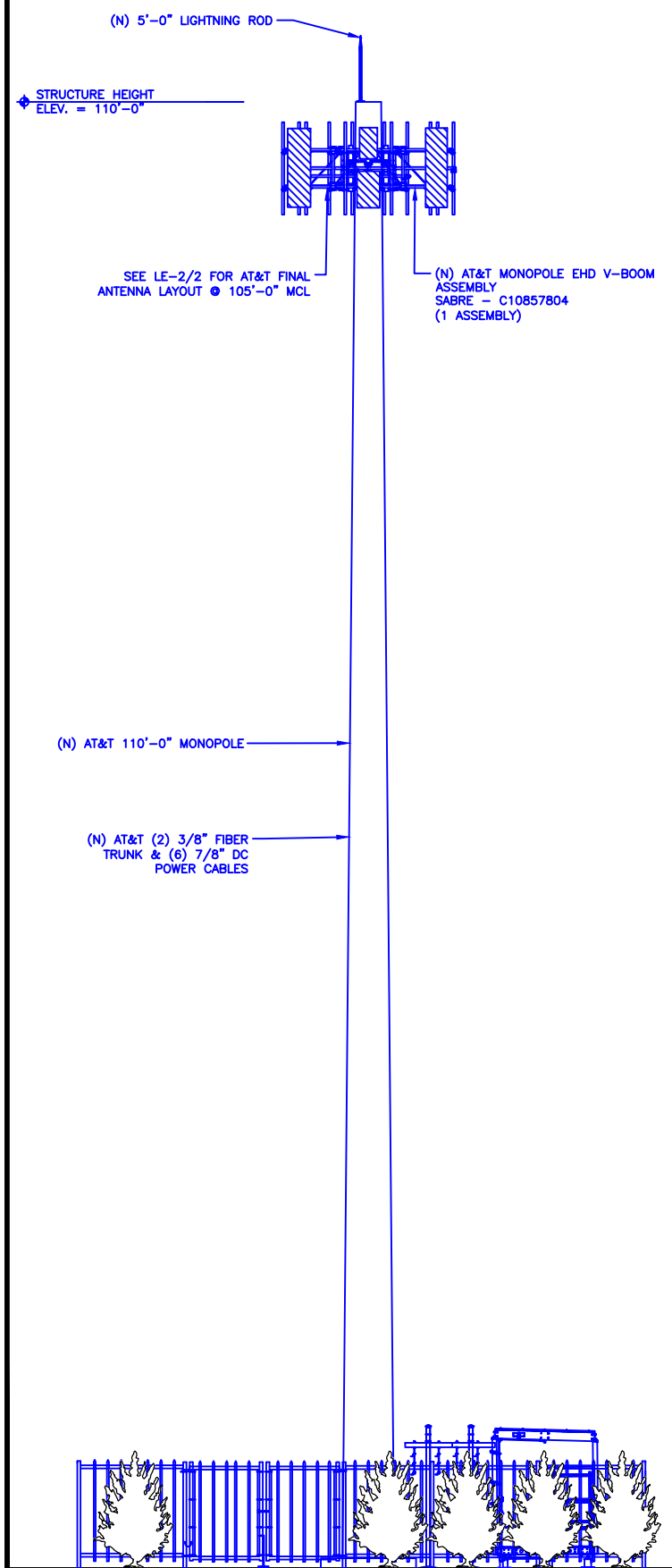
TOWER COORDINATES:  
LATITUDE: 32° 56' 09.66" / 32.936017  
LONGITUDE: -96° 25' 46.66" / -96.429628

PARENT PARCEL  
DWAYNE CAIN, THE TRUSTEE OF  
THE CREDIT SHELTER TRUST; AND DWAYNE CAIN,  
THE TRUSTEE OF THE SURVIVOR'S TRUST  
PARCEL # 11023  
INST # 2013-00493006  
INST # 2013-00493007

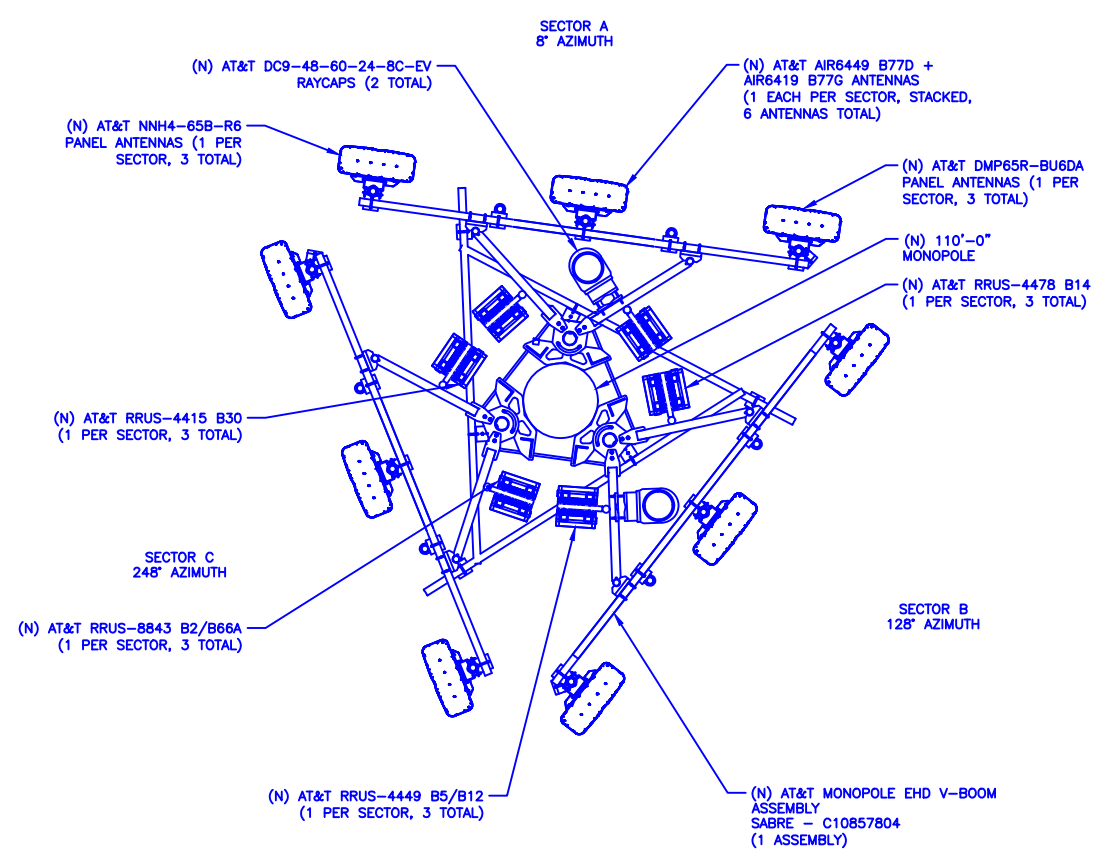
1 OVERALL SITE PLAN  
SCALE: 3/32"=1'-0" (FULL SIZE)  
3/84"=1'-0" (11x17)



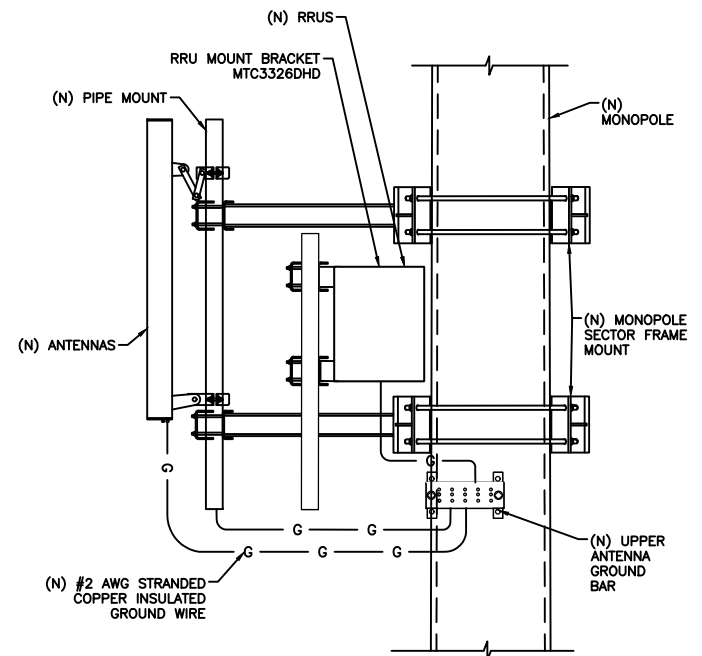
**AT&T EQUIPMENT**  
 ANTENNA CL: 105'-0"  
 MOUNT CL: 105'-0"



1 FINAL NORTH (FROM HWY 66) TOWER ELEVATION  
 SCALE: NOT TO SCALE



2 FINAL ANTENNA LAYOUT  
 SCALE: NOT TO SCALE



3 ANTENNA/RRU MOUNT DIAGRAM  
 SCALE: NOT TO SCALE



1801 VALLEY VIEW LANE  
 FARMER'S BRANCH, TX 75234



4 COUNTRY PLACE CIRCLE  
 DALWORTHINGTON GARDENS  
 TEXAS 76016

AT&T SITE NUMBER:  
**DDL00380**

AT&T SITE NAME:  
**DDL00380**

FA CODE:  
**15682026**

PACE ID:  
**MRNTX075135**

770 DAVIS DRIVE  
 ROCKWALL, TX 75087

NEW MONOPOLE TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
LEA	04/12/2023	WHS	LEASE EXHIBIT	JK

**THIS DOCUMENT IS  
 PRELIMINARY IN  
 NATURE AND IS NOT  
 A FINAL, SIGNED AND  
 SEALED DOCUMENT**

BROADUS SERVICES  
 FIRM REGISTRATION #F-23339  
 4 COUNTRY PLACE CIRCLE  
 DALWORTHINGTON GARDENS, TX 76016  
 IT IS A VIOLATION OF LAW FOR ANY PERSON,  
 UNLESS THEY ARE ACTING UNDER THE DIRECTION  
 OF A LICENSED PROFESSIONAL ENGINEER,  
 TO ALTER THIS DOCUMENT.

SHEET NUMBER: REVISION:

**LE-2 LEA**



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 100 (PD-100) [ORDINANCE NO. 23-07] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A COMMERCIAL FREESTANDING ANTENNA ON A 0.1234-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 14 OF THE D. HARR SURVEY, ABSTRACT NO 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Dub Douphrate of Douphrate and Associates on behalf of Dewayne Cain for the approval of a Specific Use Permit (SUP) for a *Commercial Freestanding Antenna* on a 0.1234-acre tract of land identified as a portion of Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 100 (PD-100) for General Retail (GR) District land uses, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located on the southside of SH-66 east of the intersection of SH-66 and Davis Drive, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 100 (PD-100) [Ordinance No. 23-07] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Planned Development District 100 (PD-100) [Ordinance No. 23-07] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Commercial Freestanding Antenna* as stipulated by Planned Development District 100 (PD-100) [Ordinance No. 23-07] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 100 (PD-100) [Ordinance No. 23-07], Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial*

*District Standards*; Subsection 04.04, *General Retail (GR) District*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Commercial Freestanding Antenna* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Commercial Freestanding Antenna* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 2) Any necessary equipment building shall be enclosed by a decorative iron fence surrounded by a screening hedge which will achieve a height of at least six (6) feet at maturity or a masonry screening wall at least eight (8) feet in height; and,
- 3) At least one (1) paved parking space with paved access thereto shall be provided at the antenna location; said parking space need not be reserved exclusively for use in conjunction with the antenna installation and may be one (1) of the spaces provided for the principal use on the property; and,
- 4) Administrative approval of the antenna installation shall be required prior to the issuance of any permits for construction; and,

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the



application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF JUNE, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

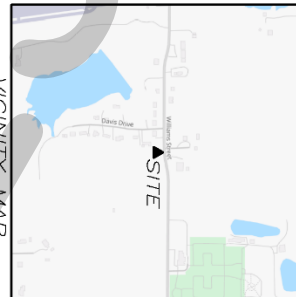
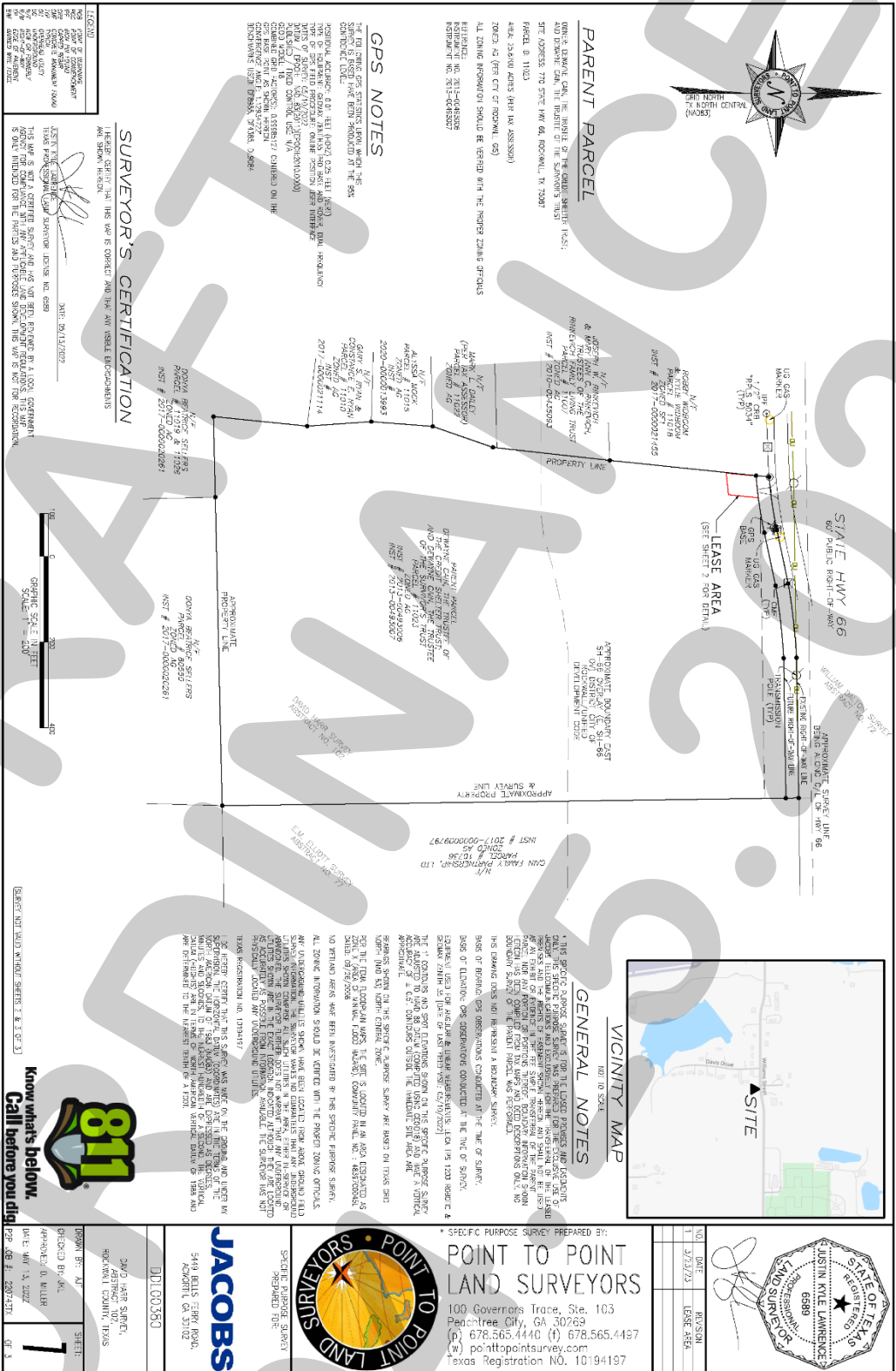
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 15, 2023

2<sup>nd</sup> Reading: June 5, 2023

**Exhibit 'A':  
Survey**



**GENERAL NOTES**

THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASE PROVISIONS AND ASSUMES THAT THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS AND HAS FOUND NO RECORDS THAT WOULD AFFECT THE SURVEY. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS AND HAS FOUND NO RECORDS THAT WOULD AFFECT THE SURVEY. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS AND HAS FOUND NO RECORDS THAT WOULD AFFECT THE SURVEY.

**GPS NOTES**

THE POINTS OF THE SURVEY WERE MEASURED WITH A GARMIN GPS RECEIVER. THE POINTS WERE MEASURED WITH A GARMIN GPS RECEIVER. THE POINTS WERE MEASURED WITH A GARMIN GPS RECEIVER. THE POINTS WERE MEASURED WITH A GARMIN GPS RECEIVER.

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS SURVEY IS CORRECT AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF TEXAS. I HAVE REVIEWED THE RECORDS OF THE PUBLIC RECORDS AND HAVE FOUND NO RECORDS THAT WOULD AFFECT THE SURVEY.



GRAPHIC SCALE: 1" = 100'  
SCALE: 1" = 200'



	<p>POINT TO POINT LAND SURVEYORS</p> <p>100 Governors Trace, Ste. 103 Richardson, TX 75080 P: 678.565.4440 F: 678.565.4437 www.pointtopointsurvey.com Texas Registration No. 10194197</p>	<p>STATE OF TEXAS JUSTIN KYLE LAWRENCE PROFESSIONAL LAND SURVEYOR 6589</p>	<p>DATE: 12/21/23 JOB NO.: 1588-458</p>
<p>2400 HARRIS STREET, ROCKWALL, TEXAS 75087</p>	<p>PREPARED BY: SHELI CHECKED BY: DATE: 12/21/23</p>	<p>PROJECT NO.: 2207-47X</p>	<p>SHEET: 1</p>





# Exhibit 'C': Concept Building Elevations

**1** FINAL NORTH FROM HWY 66 TOWER ELEVATION  
SCALE: NOT TO SCALE

**2** FINAL ANTENNA LAYOUT  
SCALE: NOT TO SCALE

**3** ANTENNA/RRU MOUNT DIAGRAM  
SCALE: NOT TO SCALE

**4** FINAL EQUIPMENT ANTENNA CL. 100'-0" ANTENNA CL. 115'-0" ANTENNA CL. 130'-0"

SHIRT NUMBER: **LF-2**  
ESTATIONS: **LEA**

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT

ISSUED FOR:

REV	DATE	DESCRIPTION	BY	CHK

7700 AVIS DRIVE  
ROCKWALL, TX 75087  
NEW MONOROLE TOWER

AT&T SITE NUMBER:  
**DD1L00380**

AT&T SITE NAME:  
**DD1L00380**

FA CODE:  
**15682026**

PAGE ID:  
**MRNTX075155**

**BROADUS SERVICES**  
1400 WEST WILSON AVE  
DALLAS, TEXAS 75203

1811 VALLEY VIEW LANE  
#4000 ROCKWALL, TX 75087





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** April 25, 2023  
**SUBJECT:** Z2023-023; *Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the UDC for Alcoholic Beverage Sales and Alcoholic Beverage Store*

---

In accordance with Subsection 02.01, *Authority*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward a text amendment to Article 04, *Permissible Uses*, and Article 13, *Definitions*, for the purpose of creating an *Alcoholic Beverage Sales* and an *Alcoholic Beverage Store* land use. Under the proposed text amendment these definitions would be defined as follows:

- (1) *Alcoholic Beverage Package Sales*. The act of selling beer, wine, and/or liquor or distilled spirits -- *as defined by the Texas Alcoholic Beverage Code* -- in accordance with the requirements of this Unified Development Code (UDC) by a person, establishment, or place of business.
- (2) *Alcoholic Beverage Store*. A standalone retail establishment that engages in the sale of beer, wine, and liquor or distilled spirits -- *as defined by the Texas Alcoholic Beverage Code* -- to the general public for off-premise personal or household consumption.

In addition, the text amendment sets up the following *Conditional Lane Use Standards* for the proposed land uses:

- (1) *Alcoholic Beverage Package Sales*.
  - (a) The package sales of liquor or distilled spirits -- *as defined by the Texas Alcoholic Beverage Code* -- shall only be permitted in conjunction with an *Alcoholic Beverage Store*, and shall not be permitted as an accessory use to any other land use contained within this Unified Development Code (UDC).
  - (b) The package sales of beer and wine shall be permitted by-right as an accessory land use to a *General Retail Store*, *Retail Store with Gasoline Sales*, *Brew Pub*, *Craft/Micro Brewery and/or Winery*, *Brewery*, and *Winery*.
- (2) *Alcoholic Beverage Stores*.
  - (c) An *Alcoholic Beverage Store* shall include the sale of beer, wine, and liquor or distilled spirits as defined by the Texas Alcoholic Beverage Code.
  - (d) An *Alcoholic Beverage Store* shall be prohibited from locating within 1,000-feet of a lot, parcel, or tract of land with another *Alcoholic Beverage Store* situated on it as measured in a straight line between the nearest points of one (1) of the lots, parcels, or tracts of land to the other lot, parcel, or tract of land.

The purpose of creating these land uses and *Conditional Land Use Standards* is to ensure that if State law and/or local option requirements change, the City of Rockwall has regulations in the zoning code to address the sale of liquor or distilled spirits. This approach avoids the lag-time between the implementation of a legislative/local change and time it takes staff to draft and process regulations to address the legislative/local change; however, these requirements would be dormant in the City's code until they are applicable by a change in State law and/or local option requirements.

A redlined copy of the proposed changes along with a draft ordinance has been provided in the attached packet. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code

(UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: April 25, 2023

Planning and Zoning Commission Public Hearing: May 9, 2023

City Council Public Hearing/First Reading: May 15, 2023

City Council Second Reading: June 5, 2023

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on April 25, 2023.





- (1) Setbacks from Other Uses. The club must be located not less than 300-feet from a church, public school, or public hospital. For a church or public hospital, the 300-feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools, the measurement of distance shall be in direct line from the property line of the public school to the property line of the private club and in a direct line across intersections.
- (2) Exterior Signs. There shall be no exterior signs advertising the sale of alcoholic beverages, provided this does not prohibit using established trademark names (e.g. Steak and Ale).
- (3) Alcoholic Sales Revenue. Revenues from the sale of alcoholic beverages shall not exceed 40% of the gross revenues derived from the sale of food and beverages. In the hotels and motels, the gross receipts shall include all restaurants and club operations in the facility as well as room rental charges. The City shall be provided with copies of the reports submitted by the establishment to the Texas Comptroller of Public Accounts and the Texas Alcoholic Beverage Commission within 30-days of the end of each quarter. Combined sales as reflected on the reports for the last two (2) reported quarters shall be used to determine if the sales of alcohol exceed the maximum allowed percentage.
- (4) Club Boundaries. The boundaries of a private club are hereby defined to be the building in which the private club is located, or in the case of a multi-tenant building such as a shopping center, only that portion of the building in which the private club is located which is separately leased or owned, or with contiguous internal access should such floor area be leased to more than one (1) party.
- (5) Certificate of Occupancy. A copy of the permit approved by the state shall be submitted to the city prior to issuance of a Certificate of Occupancy (CO) to ensure that the permit complies with the provisions of the zoning.
- (6) Allowed uses. No uses meeting the terms and definitions of Sexually Oriented Business as defined in [Article XI, Sexually Oriented Businesses, of Chapter 12, Businesses and Sales, of the Municipal Code of Ordinances](#), as it is currently adopted or as it may hereafter be amended, shall be located in a private club unless such uses are approved as a part of the Specific Use Permit (SUP) authorizing the Private Club. Any such approved use shall be in compliance with all requirements of this permit, all applicable requirements of the Unified Development Code (UDC), and any other applicable ordinances.

(7) Sexually Oriented Businesses.

- (a) Sexually Oriented Businesses shall not be permitted within any Overlay District in the City of Rockwall.

(F) Retail and Personal Service Land Uses.

(1) Alcoholic Beverage Package Sales.

- (a) The package sales of liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- shall only be permitted in conjunction with an Alcoholic Beverage Store, and shall not be permitted as an accessory use to any other land use contained within this Unified Development Code (UDC).
- (b) The package sales of beer and wine shall be permitted by-right as an accessory land use to a General Retail Store, Retail Store with Gasoline Sales, Brew Pub, Craft/Micro Brewery and/or Winery, Brewery, and Winery.

(2) Alcoholic Beverage Store.

- (a) An Alcoholic Beverage Store shall include the sale of beer, wine, and liquor or distilled spirits as defined by the Texas Alcoholic Beverage Code.
- (b) An Alcoholic Beverage Store shall be prohibited from locating within 1,000-feet of a lot, parcel, or tract of land with another Alcoholic Beverage Store situated on it as measured in a straight line between the nearest points of one (1) of the lots, parcels, or tracts of land to the other lot, parcel, or tract of land.

~~(4)~~(3) Portable Beverage Service Facility.

- (a) The service shall be limited to snow cone stands, beverage stands serving non-alcoholic beverages such as coffee, juices or sodas.
- (b) The maximum time limit of such temporary use shall not exceed 150-days annually or a time limit otherwise approved by the City Council. At the end of the time period, the structure shall be removed from the property.
- (c) Any temporary power poles will be removed on the date of or immediately following the termination date of the permit.
- (d) No additional freestanding signage shall be permitted.
- (e) The temporary portable structure or trailer shall meet all health and electrical codes off the City.
- (f) Any such temporary facility shall not reduce the number of required parking spaces of any nearby building or use.
- (g) Any such temporary facility shall have permanent restrooms for employees available within 300-feet of the door of the portable beverage facility. Written permission from the permanent building owner for restroom use must be submitted to the building official; no portable restroom facility is allowed.
- (h) Any such temporary facility shall be located on an all-weather (i.e. asphalt or concrete) parking surface with adequate space for parking and circulation, unless alternatively approved by the City Council.

~~(2)~~(4) Temporary Christmas Tree Sales Lot and Similar Uses.



- (A) *Grazing Animals*. In the SF-E and SF-1 Districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 40,000 square feet per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 15,000 square feet per animal.
- (B) *Other Animals*. An SUP is required for other farm animals, including chickens and swine (except for “potbellied pigs” as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#)), and for a reduction in the land area required for grazing farm animals. The city shall not grant a SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.
- (C) *General Conditions*. Notwithstanding the conditions above,
- (1) Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to humans and animals;
  - (2) Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
  - (3) In SF-E and SF-1 Districts, no swine or fowl are permitted, except for *potbellied pigs* as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).
  - (4) In the Agricultural District or on unplatted tracts of land of five acres or more, standards for animals are found in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).

#### SUBSECTION 03.02: TEMPORARY ACCOMODATION FOR EMPLOYEES, CUSTORMERS AND VISITORS

- (A) Temporary accommodations. Temporary accommodation for employees, customers and visitors may be provided as an ancillary use in commercial zoning districts provided that:
- (1) Such accommodation is clearly in support of the business operation;
  - (2) No rental of such facilities to the general transient public occurs;
  - (3) Accommodation is for temporary stays, not to exceed 30 days; and
  - (4) No more than five (5) percent of the building area is utilized for this ancillary use.

#### SUBSECTION 03.03: UTILITY DISTRIBUTION LINES

All utility distribution lines shall be placed underground. Utility distribution lines placed above-ground shall require special approval of the City Council based upon a recommendation of the Planning and Zoning Commission.

#### SUBSECTION 03.04: FLAG POLES

Flag poles are permitted in all districts, but must meet the building height and setback requirements for each district. (See [Article 05, District Development Standards, of the Unified Development Code](#)).

#### SUBSECTION 03.05: ALCOHOLIC BEVERAGE SALES

- (A) *Restaurants with Alcoholic Beverage Sales*.
- (1) Restaurants may serve alcoholic beverages for on-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. For restaurants located on property that was annexed after November 14, 2007, a private club permit must be obtained for the ability to serve alcohol and must be located in an appropriate zoning district that allows such use.
  - (2) Restaurants that sell alcoholic beverages for on-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than 300 feet from a church, public school, private school (*as defined by the Texas Alcoholic Beverage Code*) or public hospital. For a church or public hospital, the 300 feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school or private school to the property line of the restaurant and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.
- The City Council may grant a variance to the distance regulations if the City Council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the City Council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.
- (3) Restaurants that sell alcoholic beverages for on-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and shall not be permitted to have exterior signs advertising the sale of alcoholic beverages other than those authorized under the Texas Alcoholic Beverage Code and chapter 32 of the Code of Ordinances, pertaining to signs.

(B) *Retail Establishments with Alcoholic Beverage Sales*.

- (1) Retail establishments or Alcoholic Beverage Stores may sell beer and wine for off-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. Retail establishments or Alcoholic





**Beverage Stores** located on property that was annexed after November 14, 2007, may not engage in the selling of beer and wine for off-premises consumption.

- (2) Retail establishments engaged in the selling of beer and wine **or Alcoholic Beverage Stores engaged in the selling of beer, wine, and distilled spirits or liquor** to the general public for off-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than ~~300~~ 300-feet from a church, public school, private school (as defined by the Texas Alcoholic Beverage Code) or public hospital. For a church or public hospital, the ~~300~~ 300-feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school to the property line of the retail establishment **or Alcoholic Beverage Store** and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, the measurement shall be in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.

The City Council may grant a variance to the distance regulations if the City Council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the City Council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.

- (3) Retail establishments engaged in the selling of beer and wine **or Alcoholic Beverage Stores engaged in the selling of beer, wine, and distilled spirits or liquor** for off-premise consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and shall not be permitted to have exterior signs advertising the sale of alcoholic beverages other than those authorized under the Texas Alcoholic Beverage Code and Chapter 32 of the Code of Ordinances, pertaining to signs.

(C) Drive-Through Sales of Pre-Packaged Beverages, Convenience Stores, Retail Sales with Gasoline.

- (1) An establishment may not offer drive-in, drive-up, drive through, or walk-up sales or service of pre-packaged, sealed, unopened beverages.
- (2) A convenience store may not contain less than 1,000 square feet of retail space.
- (3) For purposes of this section, the terms "drive-in," "drive-up," "drive-through," and "walk-up" do not prohibit the service of food or beverages to customers:
- (a) Who must physically leave their vehicles and enter a building in order to make a purchase; or

- (b) As part of a drive-through restaurant in connection with the sale or service of food to the customer.

SUBSECTION 03.06: ANTENNAS

- (A) Construction and Maintenance Requirements. All antenna masts, towers and antenna supports used for television and radio reception or transmission shall be constructed and maintained in accordance with the current National Electrical Code and the Building Code of the City.

- (B) Permit Required. Any person desiring to erect or have erected an antenna more than 25-feet in height above ground level, or an antenna mast 25-feet or less in height but not erected as required by this section, shall make written application to the building inspection department for a permit to erect same. Sufficient plans and specifications, as determined by the Chief Building Official, must accompany each application. It shall be unlawful and a violation of this division to erect, or cause to be erected, or to maintain, or cause to maintain, such antenna mast without first having obtained a permit. It shall be the duty of the permittee to request a final inspection upon completion of the antenna system. Domestic TV antennas are exempt from this section.

- (C) Restrictions and Limitations. All antenna systems constructed and maintained under the provisions of this section shall be subject to the following restrictions and limitations:

- (1) No such antenna system shall be more than 99-feet in height.
- (2) The location on the lot of such antenna system shall comply with the requirements of this Unified Development Code insofar as the front building line and side yard building line and requirements are concerned. No portion of an antenna system shall extend beyond the front building line on any lot, and on corner lots the side yard setback requirements shall be adhered to on the side adjacent to a public street, and where the front and side yard requirements are applicable, all portions of such structures shall be within the limits fixed by such requirements.
- (3) All antenna systems constructed under the provisions of this section shall be maintained so as to at all times comply with the requirements of this section.
- (4) The regulations contained herein shall not apply to the extent that they have been preempted by specific regulations of the FCC to the contrary.

- (D) Roof-Mounted Equipment. All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, should be screened to eliminate the view from the ground level of adjacent properties. The screen shall be constructed of materials approved by the Director of Planning and Zoning. Roof-mounted equipment should be placed and finished in a manner which minimizes its visibility from overhead views from nearby buildings and elevated thoroughfare sections.

- (1) The overall screening height will be the height of the tallest element of roof-mounted equipment.
- (2) The outside of the screening device should be painted or finished in a similar color to the building facade, trim or roof

# LAND USE SCHEDULE

**LEGEND:**

	Land Use <u>NOT</u> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	RESIDENTIAL DISTRICTS											MIXED USE DISTRICTS		NON-RESIDENTIAL DISTRICTS						OVERLAY DISTRICTS			
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District
Office Building 5,000 SF or Greater	<a href="#">(2)</a>														P	S	S	P	P	P	P				
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)																							
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>													S		S	P	P	P	P				
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>													S		S	P	P	P	P				
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>															S	S	P	S	P				
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S	S	S	S	S	S	S	S	S	S	S	S			S	P	P	P	P	P			
Private Country Club	<a href="#">(5)</a>		S	S	S	S	S	S	S	S	S	S	S				S	S	S	P	P	P			
Golf Driving Range	<a href="#">(6)</a>																S	S	S	P	P	P			
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P				
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>															S	P	P	P	P				
Outdoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>		S																	P		S			
Health Club or Gym	<a href="#">(9)</a>													A	P		S	P	P	P	P	P			
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>													S		S	S	P	P	P	S			
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>																	S	P	P	P				
Public Park or Playground	<a href="#">(12)</a>		P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	P	P			
Sexually Oriented Businesses <a href="#">[Art. XI; CH. 12; Municipal Code]</a>	<a href="#">(13)</a>	<a href="#">(7)</a>																			S	S			
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S	S	S	S	S	S	S	S	S	S	S				S	S	S	P	P	P			
Theater	<a href="#">(15)</a>														P			S	P	P	P	P			
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)																							
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>													P		S	P	P	P	S				
Alcoholic Beverage Store	<a href="#">(2)</a>	<a href="#">(2)</a>													S				S	P					
Antique/Collectible Store	<a href="#">(42)</a>														S		S	P	P	P					
Astrologer, Hypnotist, or Psychic	<a href="#">(23)</a>														S	P	P	P	P	P					



# LAND USE SCHEDULE

## LEGEND:

	Land Use <i>NOT</i> Permitted
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## LAND USES

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, <i>Definitions</i> ]	CONDITIONAL USE REFERENCE Reference [Article 04, <i>Permissible Uses</i> ]	RESIDENTIAL DISTRICTS												MIXED USE DISTRICTS		NON-RESIDENTIAL DISTRICTS						OVERLAY DISTRICTS		
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District
Banquet Facility/Event Hall	(34)													S			P	P	P						
Portable Beverage Service Facility	(45)	(13)												S	S		S	S	S	S	S	P			
Brew Pub	(56)													P		P	P	P	P	P	P				
Business School	(67)													P			P	P	P	P					
Catering Service	(78)													A		S	P	P	P	P					
Temporary Christmas Tree Sales Lot and/or Similar Uses	(89)	(24)												S		S	P	P	P	P	P				
Copy Center	(910)													P		P	P	P	P	P	P				
Craft/Micro Brewery, Distillery and/or Winery	(1011)	(35)												S			S	S		P	P				
Incidental Display	(112)	(46)												P		P	P	P	P	P					
Food Trucks/Trailers	(1213)	(57)												P	S	S	P	P	P	P	P				
Garden Supply/Plant Nursery	(1314)															S	P	P	P	P					
General Personal Service	(1415)	(68)												P		P	P	P	P	S					
General Retail Store	(1516)													P	S	P	P	P	P	S	S				
Hair Salon and/or Manicurist	(1617)													P	S	P	P	P	P	S					
Laundromat with Dropoff/Pickup Services	(1718)													P		P	P	P	P	P	P				
Self Service Laundromat	(1819)													P		P	P	P	P	P	P				
Massage Therapist	(1920)													P	P	P	P	P	P						
Private Museum or Art Gallery	(2021)													P	P	S	P	P		P					
Night Club, Discotheque, or Dance Hall	(2422)													S			S	P	P	S	S				
Pawn Shop	(2223)																	S	S	P	P				
Permanent Cosmetics	(2324)	(79)												A	A	A	A	A	A	A					
Pet Shop	(2425)																P	P	P	P					
Temporary Real Estate Sales Office	(2526)		P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	P				

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Rental Store without Outside Storage and/or Display	<a href="#">2627</a>	<a href="#">810</a>														S	P	P	P	P					
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">2728</a>	<a href="#">911</a>														S	S	S	S	S	S				
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">2829</a>												P	S	P	P	P	P	P	P					
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">2728</a>	<a href="#">4012</a>														S	S	P	P	P	P				
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">2829</a>												P		S	P	P	P	P	P					
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (i.e. a Maximum of Four [4] Vehicles)	<a href="#">2930</a>														S	P	P	P	P	P	P	S	S		
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">2930</a>															S	P	P	P	P	P	S	S		
Secondhand Dealer	<a href="#">3031</a>												S			P	P	P	P	P					
Art, Photography, or Music Studio	<a href="#">3432</a>												P	P	P	P	P	P	P						
Tailor, Clothing, and/or Apparel Shop	<a href="#">3233</a>												P		P	P	P	P							
Tattoo and/or Body Piercing	<a href="#">3334</a>																		P						
Taxidermist Shop	<a href="#">3435</a>																		P	P					
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)																							
Bail Bond Service	<a href="#">1</a>																S	P	P	P					
Building and Landscape Material with Outside Storage	<a href="#">2</a>	<a href="#">1</a>																		P	P				
Building and Landscape Material with Limited Outside Storage	<a href="#">2</a>	<a href="#">2</a>															P	P	P	P					
Building Maintenance, Service, and Sales with Outside Storage	<a href="#">3</a>	<a href="#">3</a>																		P	P				
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">3</a>																P	P	P	P					
Commercial Cleaners	<a href="#">4</a>																	S	P	P					
Custom and Craft Work	<a href="#">5</a>																		P	P	P				
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">6</a>												P		S	P	P	P	P	P					
Feed Store or Ranch Supply	<a href="#">7</a>																		P	S	P				





appurtenances. This would be the primary use for a property and not attached to a Public or Private Country Club.

- (15) Theater. A structure that is open to the public and is used for dramatic, operatic, musical, motion picture, or other performance or entertainment-related activities, where admission is charged per performance or event, and where there is no audience participation other than as spectators. Such establishments may include incidental services such as food and beverage sales and other concessions.

(F) *Retail and Personal Service Land Uses.*

- (1) Alcoholic Beverage Package Sales. The act of selling beer, wine, and/or liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- in accordance with the requirements of this Unified Development Code (UDC) by a person, establishment, or place of business.

- (2) Alcoholic Beverage Store. A standalone retail establishment that engages in the sale of beer, wine, and liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- to the general public for off-premise personal or household consumption.

- (1)(3) Antique/Collectible Store. A retail establishment that engages in the selling of works of art, furniture or other artifacts of an earlier period.

- (2)(4) Astrologer, Hypnotist, or Psychic. An establishment providing predictions or readings of the future based on intuitive or mental powers, astrology, card or tea reading, crystal gazing, palmistry, or spiritual reading.

- (3)(5) Banquet Facility/Event Hall. An establishment that is leased on a temporary basis before the day of the event by individuals or groups who reserve the facility to accommodate private functions, including, but not limited to, banquets, weddings, anniversaries, receptions, business and organizational meetings, and other similar functions, to which the general public is not admitted and for which no admission charge is imposed. Such establishments may include kitchen facilities for the preparation of food or catering of food and areas for dancing, dining, and other entertainment activities that customarily occur in association with banquets, weddings, or receptions.

- (4)(6) Portable Beverage Service Facility. A portable beverage service facility is an establishment that sells beverages from a structure that can be moved from place to place but that stays at one location during a normal business day; food sales are prohibited in these facilities.

- (5)(7) Brewpub. A brewpub is a restaurant that incorporates a craft or microbrewery as an accessory use. The craft or microbrewery in conjunction with the restaurant allows for the manufacturing of beer -- in limited quantities -- for both on-premise and off-premise consumption.

- (6)(8) Business School. A business organized to operate for profit that offers instruction and training in a service or art such as secretarial school, barber college, beauty school or commercial art school, but not including manual trade schools.

- (7)(9) Catering Service. A food establishment without on-site banquet facilities that provides, prepares, and/or serves food at off-site locations for groups, where all food and service expenses are paid by the group and not for individual sale.

- (8)(10) Temporary Christmas Tree Sales Lot and Similar Uses. A building or land area that provides seasonal uses such as the sale of Christmas trees, pumpkins, and other temporary uses which occur at certain times of the year.

- (9)(11) Copy Center. An establishment that reproduces, in printed form, individual orders from a business, profession, service, industry, or government organization.

- (10)(12) Craft/Micro Brewery, Distillery and/or Winery. A craft/microbrewery is a small-scale brewing facility designed for the production of malt liquors such as beer and ale, using grains such as oats, hops, rice, wheat, and barley, designed and managed to brew no more than 75,000 barrels of beer per year. A distillery and/or winery is a small-scale facility designed for the manufacture, bottling, labeling, packaging, and sale of wine containing not more than 24% alcohol by volume, distilled spirits and other liquors.

- (11)(13) Incidental Display. An outdoor retail sale or commercial promotion, not in excess of thirty (30) days during any 12-month period, adjacent to an existing permanent business operated in the city where the products displayed or sold outdoors are the same as those sold inside the existing permanent business and where such activity is incidental to the normal conduct of business operated by the same merchant or his employer in an on-site building for which a valid Certificate of Occupancy (CO) exists and when permitted by the City.

- (12)(14) Food Truck/Trailer. A food truck or trailer is a mobile food vendor that sells food and/or beverages that are either pre-packaged or prepared in the confines of a portable truck/trailer, which can be moved from place to place, but is typically in a fixed location for extended periods of time.

- (13)(15) Garden Supply/Plant Nursery. An establishment for the cultivation and propagation, display, storage and sale (i.e. retail and wholesale) of large plants, shrubs, trees and other materials used for in indoor or outdoor plantings; and the contracting for installation and/or maintenance of landscape material as an accessory use.

- (14)(16) General Personal Service. Establishments primarily engaged in providing services generally involving the care of the person and/or his/her apparel including but not limited to barber and beauty shops, dressmaking, shoe shining, dry-cleaning and laundry pick-up stations, tailor or seamstress, and reducing salons/health clubs.

- (15)(17) General Retail Store. A facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar consumer goods. This use does not include uses that

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 04, *PERMISSIBLE USES*, AND ARTICLE 13, *DEFINITIONS*, AS DEPCITED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code [*Ordinance No. 20-02*] to create an *Alcoholic Beverage Package Sales and Alcoholic Beverage Store* land use; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

**SECTION 2.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 3.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5<sup>TH</sup> DAY OF JUNE, 2023.**

\_\_\_\_\_  
Trace Johannesen, Mayor



**ATTEST:**

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Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

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Frank J. Garza, *City Attorney*

*1<sup>st</sup> Reading:* May 15, 2023

*2<sup>nd</sup> Reading:* June 5, 2023

DRAFT  
ORDINANCE  
04.25.2023

**Exhibit 'A'**  
*Article 04, Permissible Uses, and Article 13, Definitions, of the  
Unified Development Code (UDC)*

*Continued on Next Page ...*





- (1) Setbacks from Other Uses. The club must be located not less than 300-feet from a church, public school, or public hospital. For a church or public hospital, the 300-feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools, the measurement of distance shall be in direct line from the property line of the public school to the property line of the private club and in a direct line across intersections.
- (2) Exterior Signs. There shall be no exterior signs advertising the sale of alcoholic beverages, provided this does not prohibit using established trademark names (e.g. Steak and Ale).
- (3) Alcoholic Sales Revenue. Revenues from the sale of alcoholic beverages shall not exceed 40% of the gross revenues derived from the sale of food and beverages. In the hotels and motels, the gross receipts shall include all restaurants and club operations in the facility as well as room rental charges. The City shall be provided with copies of the reports submitted by the establishment to the Texas Comptroller of Public Accounts and the Texas Alcoholic Beverage Commission within 30-days of the end of each quarter. Combined sales as reflected on the reports for the last two (2) reported quarters shall be used to determine if the sales of alcohol exceed the maximum allowed percentage.
- (4) Club Boundaries. The boundaries of a private club are hereby defined to be the building in which the private club is located, or in the case of a multi-tenant building such as a shopping center, only that portion of the building in which the private club is located which is separately leased or owned, or with contiguous internal access should such floor area be leased to more than one (1) party.
- (5) Certificate of Occupancy. A copy of the permit approved by the state shall be submitted to the city prior to issuance of a Certificate of Occupancy (CO) to ensure that the permit complies with the provisions of the zoning.
- (6) Allowed uses. No uses meeting the terms and definitions of Sexually Oriented Business as defined in Article XI, Sexually Oriented Businesses, of Chapter 12, Businesses and Sales, of the Municipal Code of Ordinances, as it is currently adopted or as it may hereafter be amended, shall be located in a private club unless such uses are approved as a part of the Specific Use Permit (SUP) authorizing the Private Club. Any such approved use shall be in compliance with all requirements of this permit, all applicable requirements of the Unified Development Code (UDC), and any other applicable ordinances.

(7) Sexually Oriented Businesses.

- (a) Sexually Oriented Businesses shall not be permitted within any Overlay District in the City of Rockwall.

(F) Retail and Personal Service Land Uses.

(1) Alcoholic Beverage Package Sales.

- (a) The package sales of liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- shall only be permitted in conjunction with an Alcoholic Beverage Store, and shall not be permitted as an accessory use to any other land use contained within this Unified Development Code (UDC).
- (b) The package sales of beer and wine shall be permitted by-right as an accessory land use to a General Retail Store, Retail Store with Gasoline Sales, Brew Pub, Craft/Micro Brewery and/or Winery, Brewery, and Winery.

(2) Alcoholic Beverage Store.

- (a) An Alcoholic Beverage Store shall include the sale of beer, wine, and liquor or distilled spirits as defined by the Texas Alcoholic Beverage Code.
- (b) An Alcoholic Beverage Store shall be prohibited from locating within 1,000-feet of a lot, parcel, or tract of land with another Alcoholic Beverage Store situated on it as measured in a straight line between the nearest points of one (1) of the lots, parcels, or tracts of land to the other lot, parcel, or tract of land.

~~(4)~~(3) Portable Beverage Service Facility.

- (a) The service shall be limited to snow cone stands, beverage stands serving non-alcoholic beverages such as coffee, juices or sodas.
- (b) The maximum time limit of such temporary use shall not exceed 150-days annually or a time limit otherwise approved by the City Council. At the end of the time period, the structure shall be removed from the property.
- (c) Any temporary power poles will be removed on the date of or immediately following the termination date of the permit.
- (d) No additional freestanding signage shall be permitted.
- (e) The temporary portable structure or trailer shall meet all health and electrical codes of the City.
- (f) Any such temporary facility shall not reduce the number of required parking spaces of any nearby building or use.
- (g) Any such temporary facility shall have permanent restrooms for employees available within 300-feet of the door of the portable beverage facility. Written permission from the permanent building owner for restroom use must be submitted to the building official; no portable restroom facility is allowed.
- (h) Any such temporary facility shall be located on an all-weather (i.e. asphalt or concrete) parking surface with adequate space for parking and circulation, unless alternatively approved by the City Council.

~~(2)~~(4) Temporary Christmas Tree Sales Lot and Similar Uses.



- (A) Grazing Animals. In the SF-E and SF-1 Districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 40,000 square feet per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 15,000 square feet per animal.
- (B) Other Animals. An SUP is required for other farm animals, including chickens and swine (except for “potbellied pigs” as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#)), and for a reduction in the land area required for grazing farm animals. The city shall not grant a SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.
- (C) General Conditions. Notwithstanding the conditions above,
- (1) Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to humans and animals;
  - (2) Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
  - (3) In SF-E and SF-1 Districts, no swine or fowl are permitted, except for *potbellied pigs* as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).
  - (4) In the Agricultural District or on unplatted tracts of land of five acres or more, standards for animals are found in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).

#### SUBSECTION 03.02: TEMPORARY ACCOMODATION FOR EMPLOYEES, CUSTOMERS AND VISITORS

- (A) Temporary accommodations. Temporary accommodation for employees, customers and visitors may be provided as an ancillary use in commercial zoning districts provided that:
- (1) Such accommodation is clearly in support of the business operation;
  - (2) No rental of such facilities to the general transient public occurs;
  - (3) Accommodation is for temporary stays, not to exceed 30 days; and
  - (4) No more than five (5) percent of the building area is utilized for this ancillary use.

#### SUBSECTION 03.03: UTILITY DISTRIBUTION LINES

All utility distribution lines shall be placed underground. Utility distribution lines placed above-ground shall require special approval of the City Council based upon a recommendation of the Planning and Zoning Commission.

#### SUBSECTION 03.04: FLAG POLES

Flag poles are permitted in all districts, but must meet the building height and setback requirements for each district. (See [Article 05, District Development Standards, of the Unified Development Code](#)).

#### SUBSECTION 03.05: ALCOHOLIC BEVERAGE SALES

##### (A) Restaurants with Alcoholic Beverage Sales.

- (1) Restaurants may serve alcoholic beverages for on-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. For restaurants located on property that was annexed after November 14, 2007, a private club permit must be obtained for the ability to serve alcohol and must be located in an appropriate zoning district that allows such use.
- (2) Restaurants that sell alcoholic beverages for on-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than 300 feet from a church, public school, private school (*as defined by the Texas Alcoholic Beverage Code*) or public hospital. For a church or public hospital, the 300 feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school or private school to the property line of the restaurant and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.

The City Council may grant a variance to the distance regulations if the City Council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the City Council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.

- (3) Restaurants that sell alcoholic beverages for on-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and shall not be permitted to have exterior signs advertising the sale of alcoholic beverages other than those authorized under the Texas Alcoholic Beverage Code and chapter 32 of the Code of Ordinances, pertaining to signs.

##### (B) Retail Establishments with Alcoholic Beverage Sales.

- (1) Retail establishments or Alcoholic Beverage Stores may sell beer and wine for off-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. Retail establishments or Alcoholic





**Beverage Stores** located on property that was annexed after November 14, 2007, may not engage in the selling of beer and wine for off-premises consumption.

- (2) Retail establishments engaged in the selling of beer and wine **or Alcoholic Beverage Stores engaged in the selling of beer, wine, and distilled spirits or liquor** to the general public for off-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than ~~300~~ 300-feet from a church, public school, private school (as defined by the Texas Alcoholic Beverage Code) or public hospital. For a church or public hospital, the ~~300~~ 300-feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school to the property line of the retail establishment **or Alcoholic Beverage Store** and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, the measurement shall be in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.

The City Council may grant a variance to the distance regulations if the City Council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the City Council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.

- (3) Retail establishments engaged in the selling of beer and wine **or Alcoholic Beverage Stores engaged in the selling of beer, wine, and distilled spirits or liquor** for off-premise consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and shall not be permitted to have exterior signs advertising the sale of alcoholic beverages other than those authorized under the Texas Alcoholic Beverage Code and Chapter 32 of the Code of Ordinances, pertaining to signs.
- (C) Drive-Through Sales of Pre-Packaged Beverages, Convenience Stores, Retail Sales with Gasoline.
- (1) An establishment may not offer drive-in, drive-up, drive through, or walk-up sales or service of pre-packaged, sealed, unopened beverages.
- (2) A convenience store may not contain less than 1,000 square feet of retail space.
- (3) For purposes of this section, the terms "drive-in," "drive-up," "drive-through," and "walk-up" do not prohibit the service of food or beverages to customers:
- (a) Who must physically leave their vehicles and enter a building in order to make a purchase; or

- (b) As part of a drive-through restaurant in connection with the sale or service of food to the customer.

#### SUBSECTION 03.06: ANTENNAS

- (A) Construction and Maintenance Requirements. All antenna masts, towers and antenna supports used for television and radio reception or transmission shall be constructed and maintained in accordance with the current National Electrical Code and the Building Code of the City.
- (B) Permit Required. Any person desiring to erect or have erected an antenna more than 25-feet in height above ground level, or an antenna mast 25-feet or less in height but not erected as required by this section, shall make written application to the building inspection department for a permit to erect same. Sufficient plans and specifications, as determined by the Chief Building Official, must accompany each application. It shall be unlawful and a violation of this division to erect, or cause to be erected, or to maintain, or cause to maintain, such antenna mast without first having obtained a permit. It shall be the duty of the permittee to request a final inspection upon completion of the antenna system. Domestic TV antennas are exempt from this section.
- (C) Restrictions and Limitations. All antenna systems constructed and maintained under the provisions of this section shall be subject to the following restrictions and limitations:
- (1) No such antenna system shall be more than 99-feet in height.
- (2) The location on the lot of such antenna system shall comply with the requirements of this Unified Development Code insofar as the front building line and side yard building line and requirements are concerned. No portion of an antenna system shall extend beyond the front building line on any lot, and on corner lots the side yard setback requirements shall be adhered to on the side adjacent to a public street, and where the front and side yard requirements are applicable, all portions of such structures shall be within the limits fixed by such requirements.
- (3) All antenna systems constructed under the provisions of this section shall be maintained so as to at all times comply with the requirements of this section.
- (4) The regulations contained herein shall not apply to the extent that they have been preempted by specific regulations of the FCC to the contrary.
- (D) Roof-Mounted Equipment. All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, should be screened to eliminate the view from the ground level of adjacent properties. The screen shall be constructed of materials approved by the Director of Planning and Zoning. Roof-mounted equipment should be placed and finished in a manner which minimizes its visibility from overhead views from nearby buildings and elevated thoroughfare sections.
- (1) The overall screening height will be the height of the tallest element of roof-mounted equipment.
- (2) The outside of the screening device should be painted or finished in a similar color to the building facade, trim or roof

# LAND USE SCHEDULE

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference [Article 04, Permissible Uses]	RESIDENTIAL DISTRICTS												MIXED USE DISTRICTS	NON-RESIDENTIAL DISTRICTS					OVERLAY DISTRICTS				
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District
Office Building 5,000 SF or Greater	(2)														P	S	S	P	P	P	P				
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>			2.02(E)	2.03(E)																					
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)													S	S	P	P	P	P	P				
Indoor Commercial Amusement/Recreation	(2)	(2)													S		S	P	P	P	P				
Outdoor Commercial Amusement/Recreation	(3)	(3)															S	S	P	S	P				
Public or Private Community or Recreation Club as an Accessory Use	(4)		S	S	S	S	S	S	S	S	S	S	S	S	S	S	P	P	P	P	P				
Private Country Club	(5)		S	S	S	S	S	S	S	S	S	S	S			S	S	S	P	P	P				
Golf Driving Range	(6)															S	S	S	P	P	P				
Temporary Fundraising Events by Non-Profit	(7)	(4)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P				
Indoor Gun Club with Skeet or Target Range	(8)	(5)															S	P	P	P	P				
Outdoor Gun Club with Skeet or Target Range	(8)		S																	P		S			
Health Club or Gym	(9)													A	P	S	P	P	P	P	P				
Private Club, Lodge or Fraternal Organization	(10)	(6)													S	S	S	P	P	P	S				
Private Sports Arena, Stadium, and/or Track	(11)																	S	P	P	P				
Public Park or Playground	(12)		P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	P				
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)																			S	S			
Tennis Courts (i.e. Not Accessory to a Public or Private Country Club)	(14)		S	S	S	S	S	S	S	S	S	S	S			S	S	S	P	P	P				
Theater	(15)														P		S	P	P	P	P				
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>			2.02(F)	2.03(F)																					
Alcoholic Beverage Package Sales	(1)	(1)													P	S	P	P	P	S					
Alcoholic Beverage Store	(2)	(2)													S			S	P						
Antique/Collectible Store	(42)														S	S	P	P	P						
Astrologer, Hypnotist, or Psychic	(23)														S	P	P	P	P	P					



# LAND USE SCHEDULE

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, <i>Definitions</i> ]	CONDITIONAL USE REFERENCE Reference [Article 04, <i>Permissible Uses</i> ]	RESIDENTIAL DISTRICTS													MIXED USE DISTRICTS		NON-RESIDENTIAL DISTRICTS						OVERLAY DISTRICTS		
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District	
Banquet Facility/Event Hall	<a href="#">(34)</a>														S		P	P	P							
Portable Beverage Service Facility	<a href="#">(45)</a>	<a href="#">(43)</a>													S	S	S	S	S	S	S	P				
Brew Pub	<a href="#">(56)</a>														P		P	P	P	P	P	P				
Business School	<a href="#">(67)</a>														P		P	P	P	P						
Catering Service	<a href="#">(78)</a>														A		S	P	P	P	P					
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(89)</a>	<a href="#">(24)</a>													S		S	P	P	P	P	P				
Copy Center	<a href="#">(910)</a>														P		P	P	P	P	P	P				
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(911)</a>	<a href="#">(35)</a>													S		S	S			P	P				
Incidental Display	<a href="#">(112)</a>	<a href="#">(46)</a>													P		P	P	P	P	P					
Food Trucks/Trailers	<a href="#">(1213)</a>	<a href="#">(57)</a>													P	S	S	P	P	P	P	P				
Garden Supply/Plant Nursery	<a href="#">(1314)</a>																S	P	P	P	P					
General Personal Service	<a href="#">(1415)</a>	<a href="#">(68)</a>													P		P	P	P	P	S					
General Retail Store	<a href="#">(1516)</a>														P	S	P	P	P	P	S	S				
Hair Salon and/or Manicurist	<a href="#">(1617)</a>														P	S	P	P	P	P	S					
Laundromat with Dropoff/Pickup Services	<a href="#">(1718)</a>														P		P	P	P	P	P	P				
Self Service Laundromat	<a href="#">(1819)</a>														P		P	P	P	P	P	P				
Massage Therapist	<a href="#">(1920)</a>														P	P	P	P	P	P						
Private Museum or Art Gallery	<a href="#">(2021)</a>														P	P	S	P	P			P				
Night Club, Discotheque, or Dance Hall	<a href="#">(2122)</a>														S			S	P	P	S	S				
Pawn Shop	<a href="#">(2223)</a>																	S	S	P	P					
Permanent Cosmetics	<a href="#">(2324)</a>	<a href="#">(79)</a>													A	A	A	A	A	A	A					
Pet Shop	<a href="#">(2425)</a>																	P	P	P	P					
Temporary Real Estate Sales Office	<a href="#">(2526)</a>			P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	P					

# LAND USE SCHEDULE

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference [Article 04, Permissible Uses]	RESIDENTIAL DISTRICTS										MIXED USE DISTRICTS	NON-RESIDENTIAL DISTRICTS					OVERLAY DISTRICTS								
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District		Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District	
Rental Store without Outside Storage and/or Display	<a href="#">2627</a>	<a href="#">810</a>														S	P	P	P	P							
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">2728</a>	<a href="#">911</a>														S	S	S	S	S	S						
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">2829</a>												P	S	P	P	P	P	P	P							
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">2728</a>	<a href="#">4012</a>														S	S	P	P	P	P						
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">2829</a>												P		S	P	P	P	P	P							
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (i.e. a Maximum of Four [4] Vehicles)	<a href="#">2930</a>														S	P	P	P	P	P		S	S				
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">2930</a>															S	P	P	P	P		S	S				
Secondhand Dealer	<a href="#">3031</a>													S		P	P	P	P	P							
Art, Photography, or Music Studio	<a href="#">3132</a>													P	P	P	P	P	P	P							
Tailor, Clothing, and/or Apparel Shop	<a href="#">3233</a>													P		P	P	P	P								
Tattoo and/or Body Piercing	<a href="#">3334</a>																		P								
Taxidermist Shop	<a href="#">3435</a>																		P	P							
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)																									
Bail Bond Service	<a href="#">1</a>																S	P	P	P							
Building and Landscape Material with Outside Storage	<a href="#">2</a>	<a href="#">1</a>																		P	P						
Building and Landscape Material with Limited Outside Storage	<a href="#">2</a>	<a href="#">2</a>															P	P	P	P							
Building Maintenance, Service, and Sales with Outside Storage	<a href="#">3</a>	<a href="#">3</a>																		P	P						
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">3</a>																P	P	P	P							
Commercial Cleaners	<a href="#">4</a>																S	P	P								
Custom and Craft Work	<a href="#">5</a>																P	P	P								
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">6</a>												P		S	P	P	P	P	P							
Feed Store or Ranch Supply	<a href="#">7</a>																	P	S	P							





apertures. This would be the primary use for a property and not attached to a Public or Private Country Club.

- (15) Theater. A structure that is open to the public and is used for dramatic, operatic, musical, motion picture, or other performance or entertainment-related activities, where admission is charged per performance or event, and where there is no audience participation other than as spectators. Such establishments may include incidental services such as food and beverage sales and other concessions.

(F) Retail and Personal Service Land Uses.

- (1) Alcoholic Beverage Package Sales. The act of selling beer, wine, and/or liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- in accordance with the requirements of this Unified Development Code (UDC) by a person, establishment, or place of business.

- (2) Alcoholic Beverage Store. A standalone retail establishment that engages in the sale of beer, wine, and liquor or distilled spirits -- as defined by the Texas Alcoholic Beverage Code -- to the general public for off-premise personal or household consumption.

- (1)(3) Antique/Collectible Store. A retail establishment that engages in the selling of works of art, furniture or other artifacts of an earlier period.

- (2)(4) Astrologer, Hypnotist, or Psychic. An establishment providing predictions or readings of the future based on intuitive or mental powers, astrology, card or tea reading, crystal gazing, palmistry, or spiritual reading.

- (3)(5) Banquet Facility/Event Hall. An establishment that is leased on a temporary basis before the day of the event by individuals or groups who reserve the facility to accommodate private functions, including, but not limited to, banquets, weddings, anniversaries, receptions, business and organizational meetings, and other similar functions, to which the general public is not admitted and for which no admission charge is imposed. Such establishments may include kitchen facilities for the preparation of food or catering of food and areas for dancing, dining, and other entertainment activities that customarily occur in association with banquets, weddings, or receptions.

- (4)(6) Portable Beverage Service Facility. A portable beverage service facility is an establishment that sells beverages from a structure that can be moved from place to place but that stays at one location during a normal business day; food sales are prohibited in these facilities.

- (5)(7) Brewpub. A brewpub is a restaurant that incorporates a craft or microbrewery as an accessory use. The craft or microbrewery in conjunction with the restaurant allows for the manufacturing of beer -- in limited quantities -- for both on-premise and off-premise consumption.

- (6)(8) Business School. A business organized to operate for profit that offers instruction and training in a service or art such as secretarial school, barber college, beauty school or commercial art school, but not including manual trade schools.

- (7)(9) Catering Service. A food establishment without on-site banquet facilities that provides, prepares, and/or serves food at off-site locations for groups, where all food and service expenses are paid by the group and not for individual sale.

- (8)(10) Temporary Christmas Tree Sales Lot and Similar Uses. A building or land area that provides seasonal uses such as the sale of Christmas trees, pumpkins, and other temporary uses which occur at certain times of the year.

- (9)(11) Copy Center. An establishment that reproduces, in printed form, individual orders from a business, profession, service, industry, or government organization.

- (10)(12) Craft/Micro Brewery, Distillery and/or Winery. A craft/microbrewery is a small-scale brewing facility designed for the production of malt liquors such as beer and ale, using grains such as oats, hops, rice, wheat, and barley, designed and managed to brew no more than 75,000 barrels of beer per year. A distillery and/or winery is a small-scale facility designed for the manufacture, bottling, labeling, packaging, and sale of wine containing not more than 24% alcohol by volume, distilled spirits and other liquors.

- (11)(13) Incidental Display. An outdoor retail sale or commercial promotion, not in excess of thirty (30) days during any 12-month period, adjacent to an existing permanent business operated in the city where the products displayed or sold outdoors are the same as those sold inside the existing permanent business and where such activity is incidental to the normal conduct of business operated by the same merchant or his employer in an on-site building for which a valid Certificate of Occupancy (CO) exists and when permitted by the City.

- (12)(14) Food Truck/Trailer. A food truck or trailer is a mobile food vendor that sells food and/or beverages that are either pre-packaged or prepared in the confines of a portable truck/trailer, which can be moved from place to place, but is typically in a fixed location for extended periods of time.

- (13)(15) Garden Supply/Plant Nursery. An establishment for the cultivation and propagation, display, storage and sale (*i.e. retail and wholesale*) of large plants, shrubs, trees and other materials used for in indoor or outdoor plantings; and the contracting for installation and/or maintenance of landscape material as an accessory use.

- (14)(16) General Personal Service. Establishments primarily engaged in providing services generally involving the care of the person and/or his/her apparel including but not limited to barber and beauty shops, dressmaking, shoe shining, dry-cleaning and laundry pick-up stations, tailor or seamstress, and reducing salons/health clubs.

- (15)(17) General Retail Store. A facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar consumer goods. This use does not include uses that

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: P2023-010  
PROJECT NAME: Master Plat for Discovery Lakes, Phase 2  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 289 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 289 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-010) in the lower right-hand corner of all pages on future submittals.

I.4 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.5 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: April 25, 2023  
Planning and Zoning Public Hearing: May 9, 2023  
City Council: May 15, 2023

I.6 Please note that once the Master Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review



- 04/20/2023: - This portion of Discovery will need to be built with Ph 2.  
- 10' utility easement required on both sides of ROW.

The following items are informational for the engineering design process.

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall 2023 Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochell Rd. You must dedicate 42.5' from the CL. where entire roadway isn't wholly inside Discovery Lakes
- Must build the remainder of Rochelle with median including turn left turn lane and lighting
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan. Dedicate easements.
- Per Zoning, septic systems are granted on .75 acre lots but the sewer must be installed and stubbed out to each lot.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Discovery Blvd.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochell Rd. and SH 276.
- Show the Cash and Blackland water lines on plans

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

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04/17/2023: All homes in Phase VI will require fire sprinkler protection due to the single entry/exit point.

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

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No Comments

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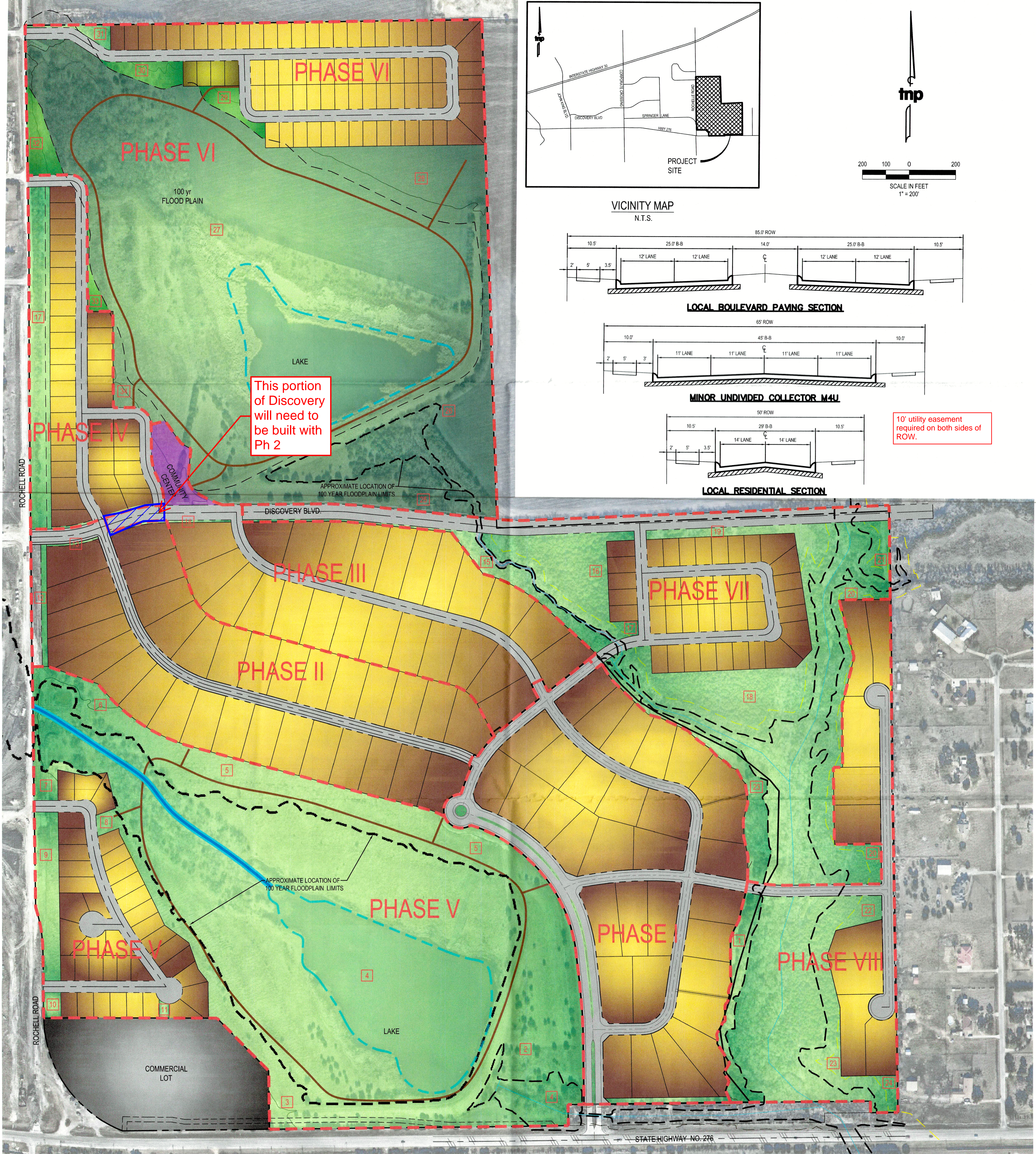
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

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04/17/2023: 1. Please ensure all trails are out of flood plain

2. Please provide a more detailed trail plan before Park Board meeting on May 1st that shows additional trail plans along rights of way and within neighborhoods.





This portion of Discovery will need to be built with Ph 2

10' utility easement required on both sides of ROW.

COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	289 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 16,619 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 96 LOTS TYPE B: 170/289 = 59% OF TOTAL LOTS TYPE C: 23/289 = 8% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	0.94 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	119.5/307.18 = 38.9%

- NOTES:
- DRAINAGE FACILITIES: STORM SEWER SYSTEM WILL BE INSTALLED UNDERNEATH THE ROADWAYS ON THE PROPERTY FOR EACH PHASE. DETENTION WILL BE PROVIDED FOR ENTIRE SITE, IF NEEDED.
  - SANITARY SEWER FACILITIES: TEMPORARY ON-SITE SANITARY SEWER SYSTEMS WILL BE INSTALLED FOR TYPE A LOTS CONTAINING A MINIMUM OF 32,670 SQUARE FEET PER PD ORDINANCE 20-27. SANITARY SEWER MAIN LINES AND SERVICES TO EACH LOT WILL BE INSTALLED WITH EACH PHASE OF DEVELOPMENT AND WILL BE CONNECTED IN THE FUTURE TO THE PROPOSED BRUSHY CREEK LIFT STATION. SANITARY SEWER LINE THROUGH THE PROPERTY WILL BE A MINIMUM PIPE SIZE OF 8", 18" AND 10" GRAVITY TRUNK SANITARY SEWER LINES WILL BE INSTALLED ON THE PROPERTY PER THE CITY'S WASTEWATER MASTER PLAN.
  - WATER FACILITIES: THERE ARE NO EXISTING WATER LINES IMMEDIATELY ADJACENT TO THE PROPERTY. A 16" WATER LINE WILL BE INSTALLED ALONG STATE HIGHWAY NO. 276 IN PHASE 1 TO PROVIDE WATER FOR THE PROPERTY. PHASE 1 WILL INCLUDE AN 8" LOOPED WATER LINE ON SITE. PHASES 3-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG ROCHELLE ROAD PER THE CITY'S WATER MASTER PLAN. PHASES 4-8 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG DISCOVERY BOULEVARD PER THE CITY'S WATER MASTER PLAN.
  - ROADWAY FACILITIES: THE SOUTH SIDE OF THE PROPERTY IS BOUNDED BY STATE HIGHWAY NO. 276 AND THE WEST SIDE IS BOUNDED BY SPRINGER LANE AND ROCHELLE ROAD.
  - BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PROVIDED AS NEEDED TO SATISFY FIRE PROTECTION REQUIREMENTS.
  - ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 48397C0045L DATED SEPTEMBER 26, 2008 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THIS PROPERTY INCLUDES ZONES A, AE, AND X.
  - PROPERTY IS ZONED AS PLANNED DEVELOPMENT DISTRICT 78 (PD-78) ORDINANCE NUMBER 20-27.

PHASE #	AREA (AC.)	CAPITAL IMPROVEMENTS TYPE		
		WATER	SEWER	STREETS
1	33.63	16" FROM ROCHELLE RD. TO EASTERN LIMIT OF PH. 1		
2	27.47	12" ALONG DISCOVERY BLVD		DISCOVERY BLVD. CONSTRUCTION ALONG PH. 2 FRONTAGE
3	22.59	12" ALONG DISCOVERY BLVD		DISCOVERY BLVD. CONSTRUCTION ALONG PH. 3 FRONTAGE
4	12.77	12" ALONG ROCHELLE RD ALONG PH. 4 FRONTAGE	10" AND 18" SS LINE TO PROPOSED LIFT STATION PER MASTER PLAN	WIDEN ROCHELLE RD. ALONG PH. 4 FRONTAGE
5	70.8			WIDEN ROCHELLE RD. ALONG PH. 5 FRONTAGE TO DISCOVERY BLVD.
6	82.18	12" ALONG ROCHELLE RD ALONG PH. 6 FRONTAGE	10" SS TRUNK LINE	WIDEN ROCHELLE RD. ALONG PH. 6 FRONTAGE TO DISCOVERY BLVD.
7	36.71	12" ALONG DISCOVERY BLVD	10" SS TRUNK LINE	
8	21.03	16" ALONG SH 276 TO EASTERN LIMIT OF PH. 8	18" SS TRUNK LINE TO SH 276	

PHASE #	AREA (AC.)	PROPOSED LOT TYPES				TOTAL UNITS
		TYPE A MIN. 0.75 AC.	TYPE B MIN. 7,700 S.F.	TYPE C MIN. 6,600 S.F.	COMMUNITY CENTER	
1	33.63	32				32
2	27.47	31				31
3	22.59	24			1	24
4	12.77		27	12		39
5	70.8		27	11		38
6	82.18		76			76
7	36.71		40			40
8	21.03	9				9
TOTAL	307.18	96	170	23		289

**LEGEND**

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (96 LOTS)
- TYPE B LOT - MIN. 70' X 110' (170 LOTS)
- TYPE C LOT - MIN. 60' X 110' (23 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL

**MASTER PLAT**  
289 Residential Lots

*Discovery Lakes*

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

**teague nail & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

**tnp**

**PROJECT INFORMATION**  
Project No.: SBD22499  
Date: April 14, 2023  
Drawn By: GS9  
Scale: 1"=200'



**General Items:**

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall 2023 Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

**Streets/Paving:**

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochell Rd. You must dedicate 42.5' from the CL. where entire roadway isn't wholly inside Discovery Lakes
- Must build the remainder of Rochelle with median including turn left turn lane and lighting
- Discovery Blvd to be 65' ROW - 45' back-to-back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

**Water/Wastewater:**

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan. Dedicate easements.
- Per Zoning, septic systems are granted on .75 acre lots but the sewer must be installed and stubbed out to each lot.
- Must loop 8" water line on site. No dead-end lines allowed.
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- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochell Rd. and SH 276.
- Show the Cash and Blackland water lines on plans

**Drainage/Floodplain/Lakes:**

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
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- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

**Landscaping:**

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DRAINAGE AREA CALCULATIONS						
Drainage Area No	Time of Conc. (min.)	Intensity I <sub>100</sub> (in/hr)	Runoff Coefficient C	Area (ac.)	Q <sub>100</sub> (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	1.18	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	0.80	3.92	FLOWS TO STORM INLET
15	10	9.80	0.50	0.78	3.82	FLOWS TO STORM INLET
16	10	9.80	0.50	0.24	1.18	FLOWS TO STORM INLET
17	10	9.80	0.50	2.58	12.64	FLOWS TO STORM INLET
18	10	9.80	0.50	0.25	1.23	FLOWS TO STORM INLET
19	10	9.80	0.50	2.25	11.03	FLOWS TO STORM INLET
20	10	9.80	0.50	0.36	1.76	FLOWS TO STORM INLET
21	10	9.80	0.50	2.38	11.66	FLOWS TO STORM INLET
22	10	9.80	0.50	5.71	27.98	FLOWS TO CREEK
23	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
24	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
25	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
26	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
27	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
28	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
29	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
30	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
31	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
32	10	9.80	0.50	2.12	10.39	FLOWS TO STORM INLET
33	10	9.80	0.50	2.28	11.17	FLOWS TO STORM INLET
34	20	8.30	0.35	14.24	41.37	FLOWS TO CREEK
35	10	9.80	0.50	4.84	23.72	FLOWS TO CREEK
36	10	9.80	0.50	0.76	3.72	FLOWS TO STORM INLET
38	10	9.80	0.50	2.35	11.52	FLOWS TO CREEK
39	10	9.80	0.50	2.10	10.29	FLOWS TO CREEK
40	10	9.80	0.50	2.41	11.81	FLOWS TO STORM INLET
41	10	9.80	0.50	2.22	10.88	FLOWS TO STORM INLET
42	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
43	10	9.80	0.50	0.76	3.72	FLOWS TO CREEK
44	20	8.30	0.35	4.76	13.83	FLOWS TO CREEK
45	10	9.80	0.50	3.59	17.59	FLOWS TO CREEK
46	10	9.80	0.50	0.88	4.31	FLOWS TO STORM INLET
47	10	9.80	0.50	1.73	8.48	FLOWS TO STORM INLET
48	10	9.80	0.50	2.05	10.05	FLOWS TO STORM INLET
49	10	9.80	0.50	1.48	7.25	FLOWS TO STORM INLET
50	10	9.80	0.50	1.03	5.05	FLOWS TO STORM INLET
51	10	9.80	0.50	1.84	9.02	FLOWS TO STORM INLET
52	10	9.80	0.50	1.90	9.31	FLOWS TO STORM INLET
53	10	9.80	0.50	2.49	12.20	FLOWS TO STORM INLET
54	10	9.80	0.50	2.40	12.15	FLOWS TO STORM INLET
55	10	9.80	0.50	2.50	12.25	FLOWS TO STORM INLET
56	10	9.80	0.50	1.71	8.38	FLOWS TO STORM INLET
57	10	9.80	0.50	0.93	4.56	FLOWS TO STORM INLET
58	10	9.80	0.50	1.56	7.64	FLOWS TO STORM INLET
59	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
60	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
61	10	9.80	0.50	2.54	12.45	FLOWS TO STORM INLET
62	10	9.80	0.50	2.62	12.84	FLOWS TO STORM INLET
63	10	9.80	0.50	0.60	2.94	FLOWS TO STORM INLET
64	10	9.80	0.50	0.24	1.18	FLOWS TO STORM INLET
65	10	9.80	0.50	3.18	15.58	FLOWS TO CREEK
66	10	9.80	0.50	9.43	46.21	FLOWS TO CREEK
67	10	9.80	0.50	0.33	1.62	FLOWS TO STORM INLET
68	10	9.80	0.50	1.29	6.32	FLOWS TO STORM INLET
69	10	9.80	0.50	1.31	6.42	FLOWS TO STORM INLET
70	10	9.80	0.50	2.16	10.58	FLOWS TO LANDSCAPE AREA
71	10	9.80	0.50	3.28	16.07	FLOWS TO STORM INLET
72	10	9.80	0.50	0.98	4.80	FLOWS TO STORM INLET
73	10	9.80	0.50	0.77	3.77	FLOWS TO STORM INLET
74	10	9.80	0.50	1.44	7.06	FLOWS TO STORM INLET
75	10	9.80	0.50	1.27	6.22	FLOWS TO STORM INLET
76	10	9.80	0.50	1.54	7.55	FLOWS TO STORM INLET
77	10	9.80	0.50	0.96	4.70	FLOWS TO LANDSCAPE AREA
78	20	8.30	0.35	67.17	195.13	FLOWS TO CREEK
79	20	8.30	0.35	60.81	176.65	FLOWS TO CREEK
80	10	9.80	0.50	2.10	10.29	FLOWS TO STORM INLET
81	10	9.80	0.50	1.38	6.76	FLOWS TO STORM INLET
82	10	9.80	0.50	2.10	10.29	FLOWS TO CREEK
83	10	9.80	0.50	2.98	14.60	FLOWS TO STORM INLET
84	10	9.80	0.50	0.93	4.56	FLOWS TO STORM INLET
85	10	9.80	0.50	0.58	2.84	FLOWS TO CREEK
86	10	9.80	0.50	1.49	7.30	FLOWS TO CREEK
87	10	9.80	0.50	2.12	10.39	FLOWS TO STORM INLET
88	10	9.80	0.50	0.68	3.33	FLOWS TO STORM INLET
89	10	9.80	0.50	0.42	2.06	FLOWS TO CREEK
90	10	9.80	0.50	0.94	4.61	FLOWS TO CREEK
91	10	9.80	0.50	0.80	3.92	FLOWS TO STORM INLET
92	10	9.80	0.50	1.91	9.36	FLOWS TO STORM INLET
93	10	9.80	0.50	1.58	7.74	FLOWS TO STORM INLET
94	10	9.80	0.50	1.64	8.04	FLOWS TO STORM INLET
95	10	9.80	0.50	1.99	9.75	FLOWS TO STORM INLET
96	10	9.80	0.50	1.99	9.75	FLOWS TO STORM INLET
97	10	9.80	0.50	1.73	8.48	FLOWS TO CREEK
98	20	9.80	0.50	6.96	34.10	FLOWS TO CREEK
TOTAL					1291.47	

Master Drainage Plan  
289 Residential Lots

*Discovery Lakes*

OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnppinc.com

PROJECT INFORMATION  
Project No.: SBD22499  
Date: April 14, 2023  
Drawn By: CAS  
Scale: 1"=200'  
SHEET 3 of 3

CASE NO. P





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2023-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup> (100+307.18\*15=\$4707.70)
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup> (200+27.46\*15=\$611.90)
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address none

Subdivision Discovery Lakes, Phase 2 Lot Block

General Location 27.46 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-78 Current Use None

Proposed Zoning PD-78 Proposed Use Single Family Residential

Acreage 27.46 Lots [Current] 1 Lots [Proposed] 31

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Alberto Dal-Cin	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-7944	Phone	817-889-5050
E-Mail	roquesv@towergrouptx.com	E-Mail	cslownd@tnpinc.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Alberto Dal Cin [Owner] the undersigned, who stated the information on this application to be true and certified the following:

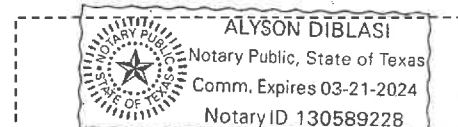
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$5,319.60, to cover the cost of this application, has been paid to the City of Rockwall on this the 13<sup>th</sup> day of April, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13<sup>th</sup> day of April, 20 23

Owner's Signature

*Alberto Dal Cin*  
*Alyson Diblasi*

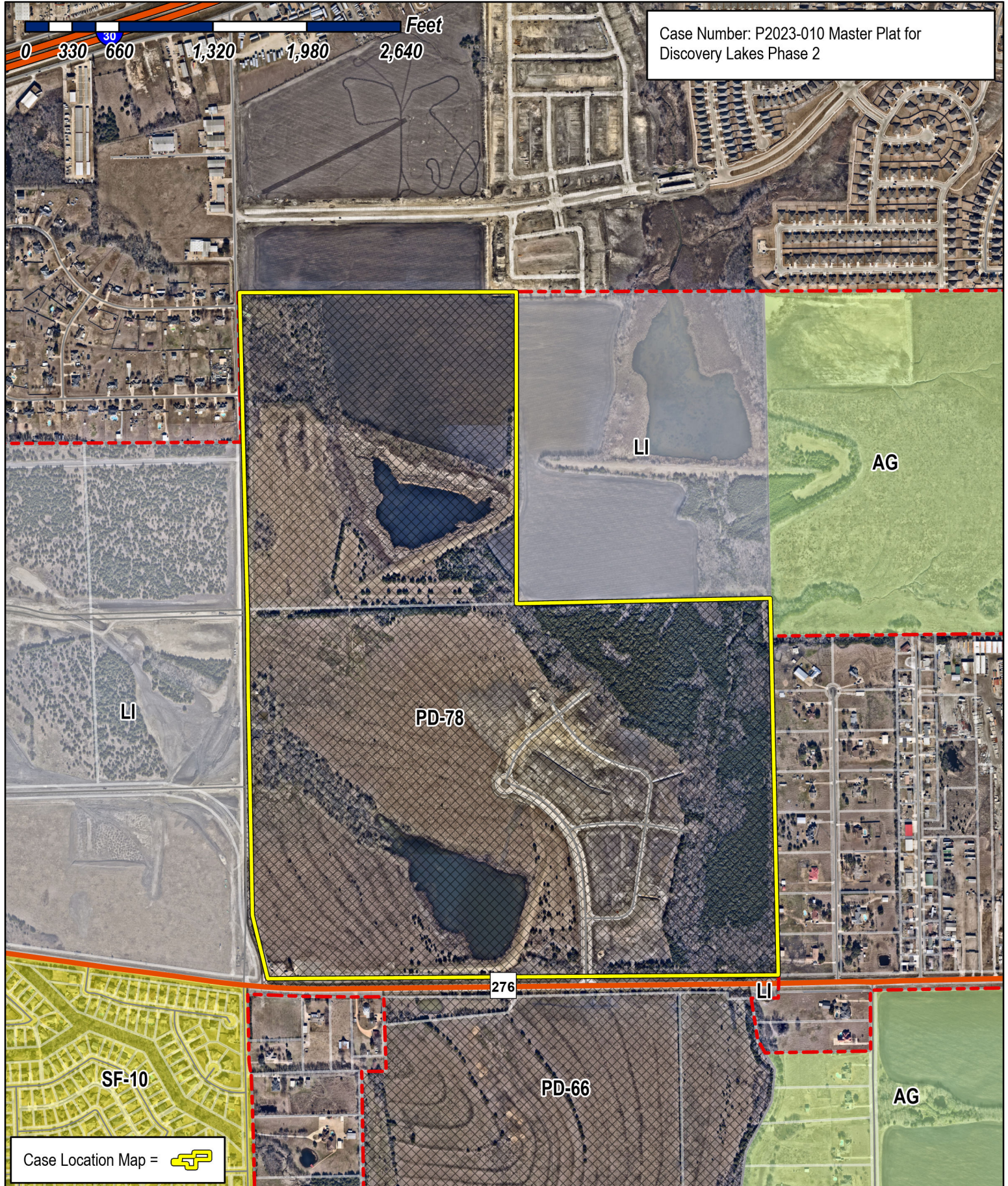
Notary Public in and for the State of Texas




My Commission Expires 03-21-2024



Case Number: P2023-010 Master Plat for  
Discovery Lakes Phase 2



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**UNANIMOUS CONSENT OF  
MAJORITY IN INTEREST OF THE CLASS A AND CLASS B MEMBERS  
OF DISCOVERY LAKES, LLC**

The undersigned being all of the Majority in Interest of the Class A and Class B Members of Discovery Lakes, LLC, (the "Company"), hereby adopt the following resolution, which resolution shall have the force and effect as if adopted at a duly called meeting of the Members of the Company.

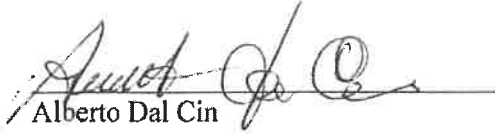
RESOLVED that the Majority in Interest of the Class A and Class B Members hereby appoint and elect Alberto Dal Cin as the Manager of the Company.

Executed as of this 13<sup>th</sup> day of March 2023.

[Signature Page Follows]



CLASS A MEMBER – 100%

  
Alberto Dal Cin

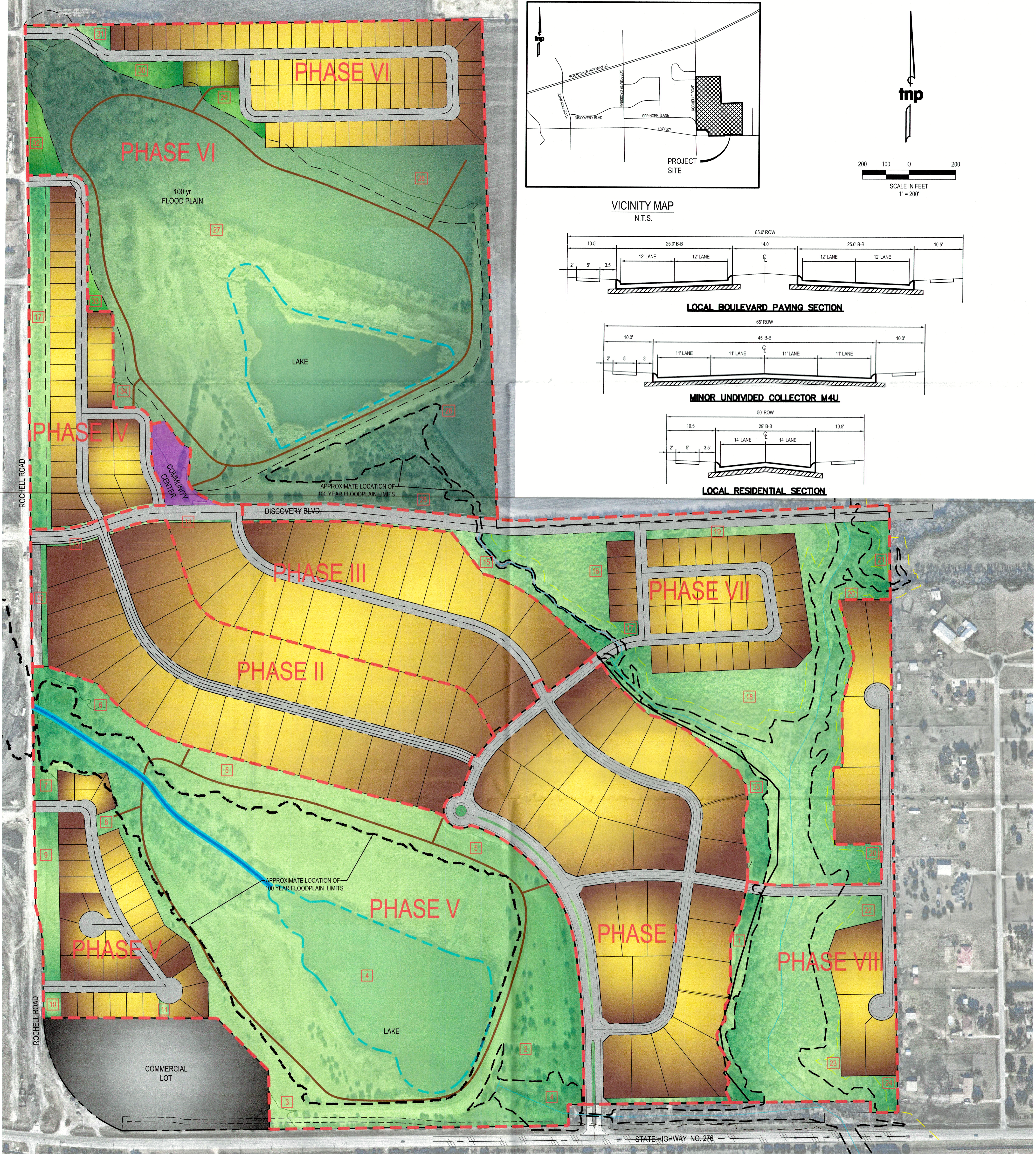
MAJORITY IN INTEREST OF CLASS B MEMBERS

DFG, LP – 64.5%  
a Texas limited partnership

By: Wellington Retail, Inc.  
Its General Partner

By:   
Alyson S. DiBlasi, President





COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	289 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 16,619 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 96 LOTS TYPE B: 170/289 = 59% OF TOTAL LOTS TYPE C: 23/289 = 8% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	0.94 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	119.5/307.18 = 38.9%

- NOTES:
- DRAINAGE FACILITIES: STORM SEWER SYSTEM WILL BE INSTALLED UNDERNEATH THE ROADWAYS ON THE PROPERTY FOR EACH PHASE. DETENTION WILL BE PROVIDED FOR ENTIRE SITE, IF NEEDED.
  - SANITARY SEWER FACILITIES: TEMPORARY ON-SITE SANITARY SEWER SYSTEMS WILL BE INSTALLED FOR TYPE A LOTS CONTAINING A MINIMUM OF 32,670 SQUARE FEET PER PD ORDINANCE 20-27. SANITARY SEWER MAIN LINES AND SERVICES TO EACH LOT WILL BE INSTALLED WITH EACH PHASE OF DEVELOPMENT AND WILL BE CONNECTED IN THE FUTURE TO THE PROPOSED BRUSHY CREEK LIFT STATION. SANITARY SEWER LINE THROUGH THE PROPERTY WILL BE A MINIMUM PIPE SIZE OF 8", 18" AND 10" GRAVITY TRUNK SANITARY SEWER LINES WILL BE INSTALLED ON THE PROPERTY PER THE CITY'S WASTEWATER MASTER PLAN.
  - WATER FACILITIES: THERE ARE NO EXISTING WATER LINES IMMEDIATELY ADJACENT TO THE PROPERTY. A 16" WATER LINE WILL BE INSTALLED ALONG STATE HIGHWAY NO. 276 IN PHASE 1 TO PROVIDE WATER FOR THE PROPERTY. PHASE 1 WILL INCLUDE AN 8" LOOPED WATER LINE ON SITE. PHASES 3-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG ROCHELLE ROAD PER THE CITY'S WATER MASTER PLAN. PHASES 4-8 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG DISCOVERY BOULEVARD PER THE CITY'S WATER MASTER PLAN.
  - ROADWAY FACILITIES: THE SOUTH SIDE OF THE PROPERTY IS BOUNDED BY STATE HIGHWAY NO. 276 AND THE WEST SIDE IS BOUNDED BY SPRINGER LANE AND ROCHELLE ROAD.
  - BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PROVIDED AS NEEDED TO SATISFY FIRE PROTECTION REQUIREMENTS.
  - ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 48397C0045L DATED SEPTEMBER 26, 2008 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THIS PROPERTY INCLUDES ZONES A, AE, AND X.
  - PROPERTY IS ZONED AS PLANNED DEVELOPMENT DISTRICT 78 (PD-78) ORDINANCE NUMBER 20-27.

CAPITAL IMPROVEMENTS TABLE			
PHASE #	AREA (AC.)	CAPITAL IMPROVEMENTS TYPE	
		WATER	SEWER
1	33.63	16" FROM ROCHELLE RD. TO EASTERN LIMIT OF PH. 1	
2	27.47	12" ALONG DISCOVERY BLVD	
3	22.59	12" ALONG DISCOVERY BLVD	
4	12.77	12" ALONG ROCHELLE RD ALONG PH. 4 FRONTAGE	10" AND 18" SS LINE TO PROPOSED LIFT STATION PER MASTER PLAN
5	70.8		
6	82.18	12" ALONG ROCHELLE RD ALONG PH. 6 FRONTAGE	10" SS TRUNK LINE
7	36.71	12" ALONG DISCOVERY BLVD	10" SS TRUNK LINE
8	21.03	16" ALONG SH 276 TO EASTERN LIMIT OF PH. 8	18" SS TRUNK LINE TO SH 276

PROPOSED PHASING TABLE						
PHASE #	AREA (AC.)	PROPOSED LOT TYPES			COMMUNITY CENTER	TOTAL UNITS
		TYPE A MIN. 0.75 AC.	TYPE B MIN. 7,700 S.F.	TYPE C MIN. 6,600 S.F.		
1	33.63	32				32
2	27.47	31				31
3	22.59	24			1	24
4	12.77		27	12		39
5	70.8		27	11		38
6	82.18		76			76
7	36.71		40			40
8	21.03	9				9
TOTAL	307.18	96	170	23		289

**LEGEND**

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (96 LOTS)
- TYPE B LOT - MIN. 70' X 110' (170 LOTS)
- TYPE C LOT - MIN. 60' X 110' (23 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL

**MASTER PLAT**  
289 Residential Lots

*Discovery Lakes*

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

PROJECT INFORMATION  
Project No.: SBD22499  
Date: April 14, 2023  
Drawn By: GS9  
Scale: 1"=200'



DRAINAGE AREA CALCULATIONS						
Drainage Area No	Time of Conc. (min.)	Intensity I <sub>100</sub> (in/hr)	Runoff Coefficient C	Area (ac.)	Q <sub>100</sub> (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	1.18	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	0.80	3.92	FLOWS TO STORM INLET
15	10	9.80	0.50	0.78	3.82	FLOWS TO STORM INLET
16	10	9.80	0.50	0.24	1.18	FLOWS TO STORM INLET
17	10	9.80	0.50	2.58	12.64	FLOWS TO STORM INLET
18	10	9.80	0.50	0.25	1.23	FLOWS TO STORM INLET
19	10	9.80	0.50	2.25	11.03	FLOWS TO STORM INLET
20	10	9.80	0.50	0.36	1.76	FLOWS TO STORM INLET
21	10	9.80	0.50	2.38	11.66	FLOWS TO STORM INLET
22	10	9.80	0.50	5.71	27.98	FLOWS TO CREEK
23	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
24	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
25	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
26	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
27	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
28	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
29	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
30	10	9.80	0.50	2.11	10.34	FLOWS TO STORM INLET
31	10	9.80	0.50	0.23	1.13	FLOWS TO STORM INLET
32	10	9.80	0.50	2.12	10.39	FLOWS TO STORM INLET
33	10	9.80	0.50	2.28	11.17	FLOWS TO STORM INLET
34	20	8.30	0.35	14.24	41.37	FLOWS TO CREEK
35	10	9.80	0.50	4.84	23.72	FLOWS TO CREEK
36	10	9.80	0.50	0.76	3.72	FLOWS TO STORM INLET
38	10	9.80	0.50	2.35	11.52	FLOWS TO CREEK
39	10	9.80	0.50	2.10	10.29	FLOWS TO CREEK
40	10	9.80	0.50	2.41	11.81	FLOWS TO STORM INLET
41	10	9.80	0.50	2.22	10.88	FLOWS TO STORM INLET
42	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
43	10	9.80	0.50	0.76	3.72	FLOWS TO CREEK
44	20	8.30	0.35	4.76	13.83	FLOWS TO CREEK
45	10	9.80	0.50	3.59	17.59	FLOWS TO CREEK
46	10	9.80	0.50	0.88	4.31	FLOWS TO STORM INLET
47	10	9.80	0.50	1.73	8.48	FLOWS TO STORM INLET
48	10	9.80	0.50	2.05	10.05	FLOWS TO STORM INLET
49	10	9.80	0.50	1.48	7.25	FLOWS TO STORM INLET
50	10	9.80	0.50	1.03	5.05	FLOWS TO STORM INLET
51	10	9.80	0.50	1.84	9.02	FLOWS TO STORM INLET
52	10	9.80	0.50	1.90	9.31	FLOWS TO STORM INLET
53	10	9.80	0.50	2.49	12.20	FLOWS TO STORM INLET
54	10	9.80	0.50	2.40	12.15	FLOWS TO STORM INLET
55	10	9.80	0.50	2.50	12.25	FLOWS TO STORM INLET
56	10	9.80	0.50	1.71	8.38	FLOWS TO STORM INLET
57	10	9.80	0.50	0.93	4.56	FLOWS TO STORM INLET
58	10	9.80	0.50	1.56	7.64	FLOWS TO STORM INLET
59	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
60	10	9.80	0.50	2.47	12.10	FLOWS TO STORM INLET
61	10	9.80	0.50	2.54	12.45	FLOWS TO STORM INLET
62	10	9.80	0.50	2.62	12.84	FLOWS TO STORM INLET
63	10	9.80	0.50	0.60	2.94	FLOWS TO STORM INLET
64	10	9.80	0.50	0.24	1.18	FLOWS TO STORM INLET
65	10	9.80	0.50	3.18	15.58	FLOWS TO CREEK
66	10	9.80	0.50	9.43	46.21	FLOWS TO CREEK
67	10	9.80	0.50	0.33	1.62	FLOWS TO STORM INLET
68	10	9.80	0.50	1.29	6.32	FLOWS TO STORM INLET
69	10	9.80	0.50	1.31	6.42	FLOWS TO STORM INLET
70	10	9.80	0.50	2.16	10.58	FLOWS TO LANDSCAPE AREA
71	10	9.80	0.50	3.28	16.07	FLOWS TO STORM INLET
72	10	9.80	0.50	0.98	4.80	FLOWS TO STORM INLET
73	10	9.80	0.50	0.77	3.77	FLOWS TO STORM INLET
74	10	9.80	0.50	1.44	7.06	FLOWS TO STORM INLET
75	10	9.80	0.50	1.27	6.22	FLOWS TO STORM INLET
76	10	9.80	0.50	1.54	7.55	FLOWS TO STORM INLET
77	10	9.80	0.50	0.96	4.70	FLOWS TO LANDSCAPE AREA
78	20	8.30	0.35	67.17	195.13	FLOWS TO CREEK
79	20	8.30	0.35	60.81	176.65	FLOWS TO CREEK
80	10	9.80	0.50	2.10	10.29	FLOWS TO STORM INLET
81	10	9.80	0.50	1.38	6.76	FLOWS TO STORM INLET
82	10	9.80	0.50	2.10	10.29	FLOWS TO CREEK
83	10	9.80	0.50	2.98	14.60	FLOWS TO STORM INLET
84	10	9.80	0.50	0.93	4.56	FLOWS TO STORM INLET
85	10	9.80	0.50	0.58	2.84	FLOWS TO CREEK
86	10	9.80	0.50	1.49	7.30	FLOWS TO CREEK
87	10	9.80	0.50	2.12	10.39	FLOWS TO STORM INLET
88	10	9.80	0.50	0.68	3.33	FLOWS TO STORM INLET
89	10	9.80	0.50	0.42	2.06	FLOWS TO CREEK
90	10	9.80	0.50	0.94	4.61	FLOWS TO CREEK
91	10	9.80	0.50	0.80	3.92	FLOWS TO STORM INLET
92	10	9.80	0.50	1.91	9.36	FLOWS TO STORM INLET
93	10	9.80	0.50	1.58	7.74	FLOWS TO STORM INLET
94	10	9.80	0.50	1.64	8.04	FLOWS TO STORM INLET
95	10	9.80	0.50	1.99	9.75	FLOWS TO STORM INLET
96	10	9.80	0.50	1.99	9.75	FLOWS TO STORM INLET
97	10	9.80	0.50	1.73	8.48	FLOWS TO CREEK
98	20	9.80	0.50	6.96	34.10	FLOWS TO CREEK
TOTAL					1291.47	

Master Drainage Plan  
289 Residential Lots

*Discovery Lakes*

OWNER:  
**DISCOVERY LAKES, LLC.**  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpsc.com

PROJECT INFORMATION  
Project No.: SBD22499  
Date: April 14, 2023  
Drawn By: CAS  
Scale: 1"=200'  
SHEET 3 of 3

CASE NO. P



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: P2023-011  
PROJECT NAME: Discovery Lakes, Phase 2  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 27.465-acre portion of a larger 174.5990-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 27.465-acre portion of a larger 174.5990-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-011) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Preliminary Plat  
Discovery Lakes Phase 2 Subdivision  
31 Residential Lots  
Lots 1-17, Block A; Lots 1-14, Block B  
27.465-Acres; 1,196,367 Square Feet  
Being a Portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and  
A Portion of the R. K. Briscoe Survey, Abstract No. 16  
City of Rockwall, Rockwall County, Texas

M.5 Per the Planned Development District 78 (PD-78) ordinance (Ordinance No. 20-27) the rear yard setback for Type A Lots is 20-feet. Currently 25-feet is shown. (Ordinance No. 20-27)

M.6 Per the Planned Development District 78 (PD-78) ordinance (Ordinance No. 20-27) the landscape buffer along Rochell Road is 20-feet. Currently 25-feet is shown. This does



not need to be corrected as the landscape buffer requirement is a minimum. This buffer must include a meandering sidewalk, a berm, canopy trees, accent trees, and shrubs; having the additional five (5) feet may make it easier to incorporate all of the landscape and hardscape elements. (Ordinance No. 20-27)

M.7 Please include the topographical information and physical features to include contours at two (2) foot intervals, and show all drainage areas and all proposed storm drainages areas with sizes if applicable. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please indicate the water service provider. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.9 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: April 25, 2023

Planning and Zoning Public Hearing: May 9, 2023

City Council: May 15, 2023

I.9 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

04/20/2023: - 10' utility easement required on both sides of ROW.

- This portion of Discovery will need to be built with Ph 2

Informational comments below.

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall 2023 Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochell Rd. You must dedicate 42.5' from the CL. where entire roadway isn't wholly inside Discovery Lakes
- Must build the remainder of Rochelle with median including turn left turn lane and lighting
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan. Dedicate easements.
- Per Zoning, septic systems are granted on .75 acre lots but the sewer must be installed and stubbed out to each lot.



- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Discovery Blvd.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochell Rd. and SH 276.
- Show the Cash and Blackland water lines on plans

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved

No Comments

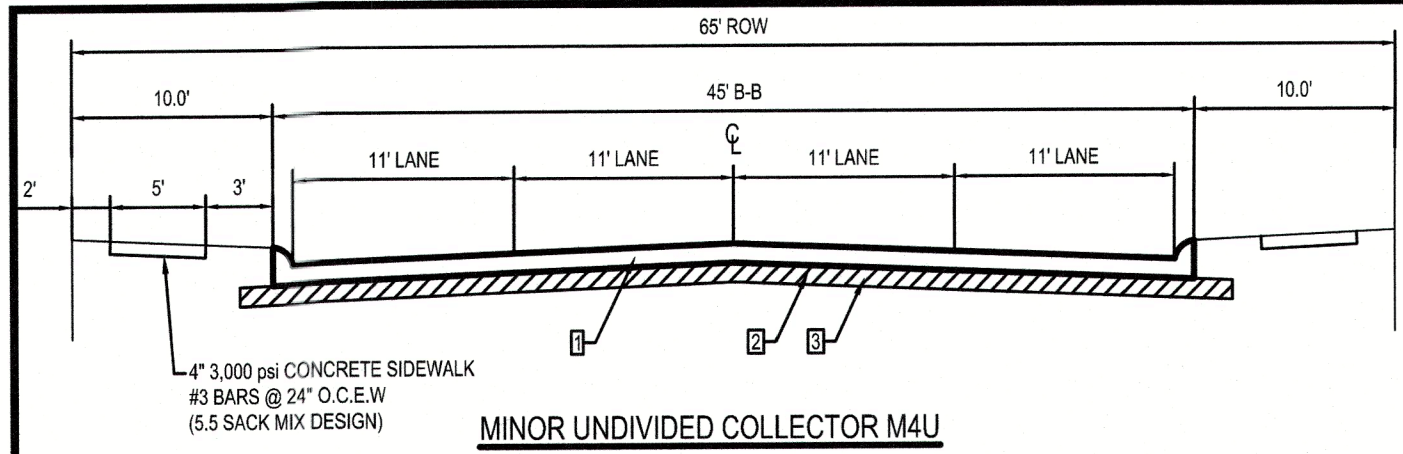
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

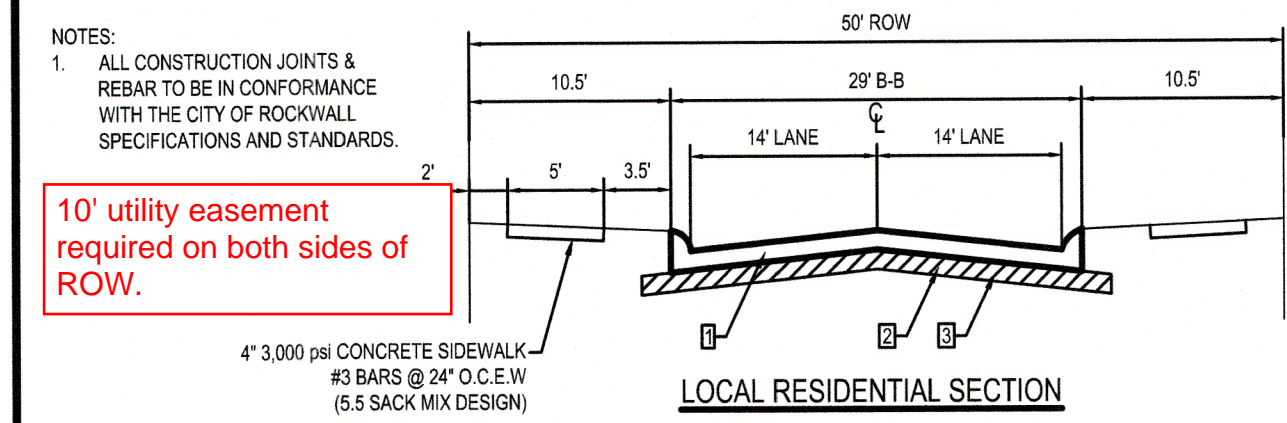
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: 2.P2023-011 (Preliminary Plat)  
 Park District 31  
 Cash in Lieu of Land \$330.10 x 31 lots = \$10,233.10  
 Pro Rata Equipment Fees \$309.80 x 31 lots = \$9,603.80  
 Total per lot (1) Lot \$639.90 x 31 lots = \$19,836.90





MINOR UNDIVIDED COLLECTOR M4U



LOCAL RESIDENTIAL SECTION

NOTES:  
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.  
**10' utility easement required on both sides of ROW.**

- 8" 3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 4 BARS @ 18" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

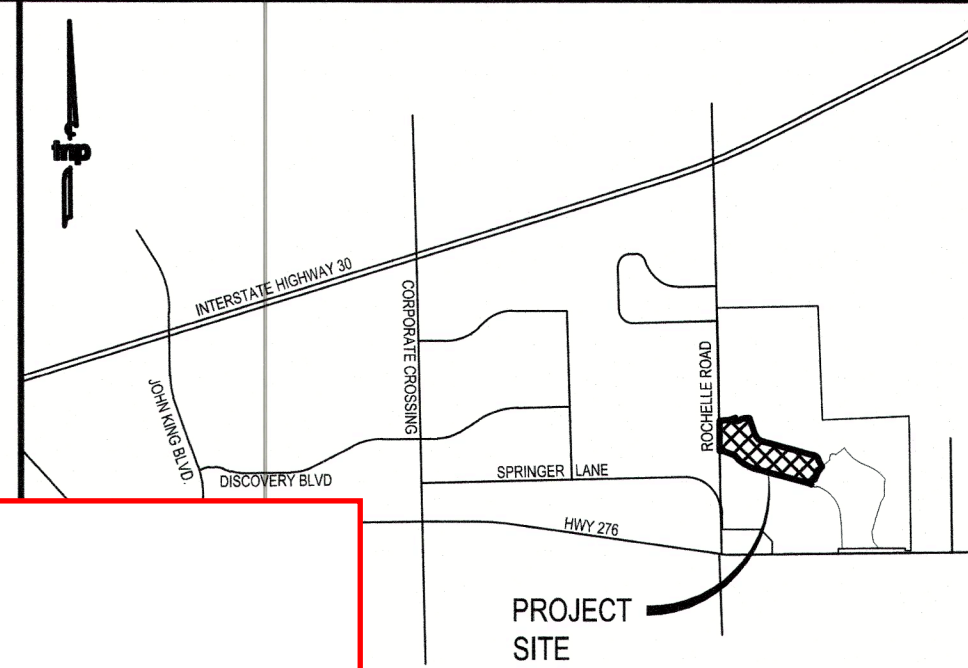
- 6" 3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°49'56"W	65.01'
L2	N88°23'46"E	115.59'
L3	N70°58'31"E	63.21'
L4	S19°01'28"E	65.00'
L5	N70°58'31"E	84.81'
L6	N89°18'10"E	19.16'
L7	S28°12'12"E	145.41'
L8	S28°21'37"W	50.00'
L9	S18°53'58"W	52.49'
L10	N70°42'27"W	223.87'
L11	S89°11'04"W	67.50'

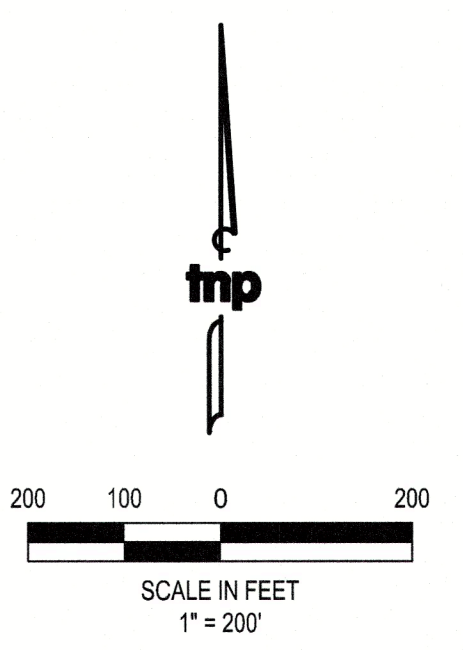
CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	116.04'	S88°23'40"W
L2	77.54'	S70°58'31"W

BOUNDARY CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	467.50'	17°25'09"	142.13'	N 78°41'06" E	141.58'
C2	467.50'	18°19'38"	140.54'	N 80°06'21" E	148.90'
C3	225.00'	55°57'07"	219.72'	S 47°00'02" E	211.10'
C4	175.00'	48°28'11"	148.04'	S 50°44'31" E	143.67'
C5	508.14'	12°50'29"	113.89'	S 38°52'28" W	113.65'
C6	550.00'	1°42'58"	16.47'	N 60°46'54" W	16.47'
C7	500.00'	1°14'50"	14.81'	S 60°47'28" E	14.81'
C8	525.00'	8°24'09"	76.89'	S 23°06'02" W	76.92'
C9	75.00'	109°47'34"	143.72'	S 34°31'54" W	122.72'
C10	250.00'	17°18'14"	75.50'	N 66°19'29" W	75.22'
C11	775.00'	37°14'03"	503.84'	N 56°21'35" W	494.82'

CURVE #		RADIUS
C1	467.50'	
C2	467.50'	
C3	225.00'	
C4	175.00'	
C5	508.14'	
C6	550.00'	
C7	500.00'	
C8	525.00'	
C9	75.00'	
C10	250.00'	
C11	775.00'	

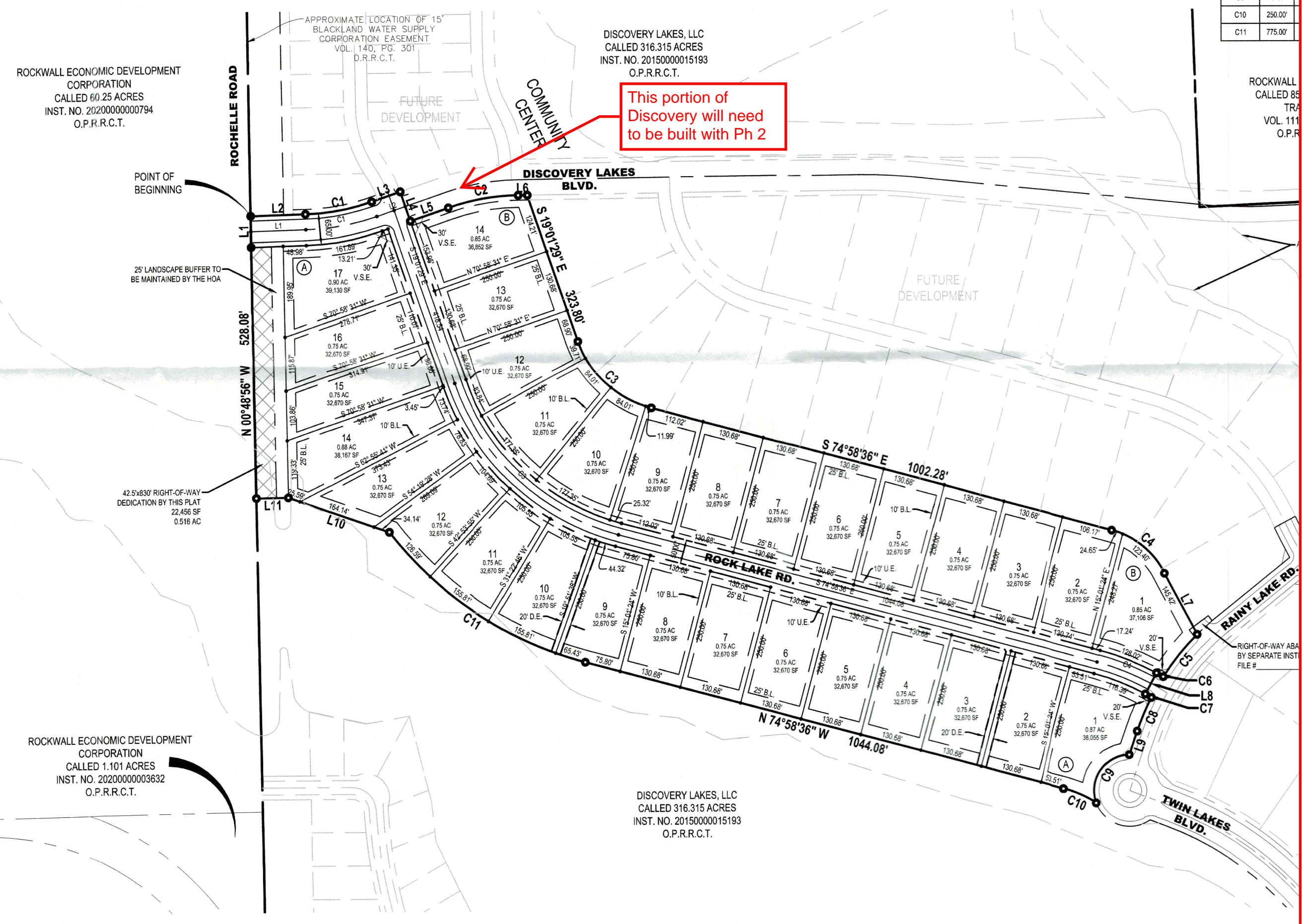


VICINITY MAP  
N.T.S.



**LEGEND**  
 N.T.S. - NOT TO SCALE  
 R.O.W. - RIGHT OF WAY  
 INST. - INSTRUMENT  
 CAB. - CABINET  
 VOL. - VOLUME  
 NO. - NUMBER  
 PG. - PAGE  
 SF - SQUARE FEET  
 AC - ACRES  
 B.L. - BUILDING LINE  
 D.E. - DRAINAGE EASEMENT  
 W.E. - WATER EASEMENT  
 U.E. - UTILITY EASEMENT  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS  
 ROCKWALL COUNTY TEXAS  
 P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAS

**This portion of Discovery will need to be built with Ph 2**



**General Items:**  
 - 4% Engineering Inspection Fees  
 - Impact Fees  
 - Engineering plan review fees apply.  
 - No structures in easements. Min. easement width is 20'.  
 - Required 10' utility easement required along all street frontage.  
 - Must meet City of Rockwall 2023 Standards of Design.  
 - Retaining walls 3' and taller must be designed by a structural engineer.  
 - All walls must be rock or stone face. No smooth concrete walls.

**Streets/Paving:**  
 - All streets to be concrete. Min. 50' ROW, 29' back-to-back paving.  
 Streets must be curb and gutter style. No asphalt or rock streets.  
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.  
 - Must verify there is 85' of dedicated ROW for Rochelle Rd. You must dedicate 42.5' from the CL. where entire roadway isn't wholly inside Discovery Lakes  
 - Must build the remainder of Rochelle with median including turn left turn lane and lighting  
 - Discovery Blvd to be 65' ROW - 45' back to back.  
 - Must meet driveway spacing requirements.  
 - All street trees if approved by Zoning shall have root barriers.  
 - All streets to be 1-ft above the 100 YR floodplain WSEL.

**Water/Wastewater:**  
 - Must have 8" sewer line minimum through the property.  
 - Must install a 18" and 10" gravity trunk sewer lines per WW Master plan. Dedicate easements.  
 - Per Zoning, septic systems are granted on .75 acre lots but the sewer must be installed and stubbed out to each lot.  
 - Must loop 8" water line on site. No dead-end lines allowed.  
 - Per the Master Water Plan must install a 12" water line along Discovery Blvd.  
 - Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochelle Rd. and SH 276.  
 - Show the Cash and Blackland water lines on plans

**Drainage/Floodplain/Lakes:**  
 - Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.  
 - Detention must be above the floodplain elevation where adjacent.  
 - Detention required for all commercial areas.  
 - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.  
 - Area adjacent to SH 276 is WOTUS.  
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 - Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

**Landscaping:**  
 I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.  
 I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

**RELIMINARY PLAT**  
 Discovery Lakes Phase 2  
 31 RESIDENTIAL LOTS  
 1,196,367 SQUARE FEET  
 27.465 ACRES GROSS  
 ZONED PD-78

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	289 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 16,619 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 96 LOTS TYPE B: 170/289 = 59% OF TOTAL LOTS TYPE C: 23/289 = 8% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	0.94 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	119.5/307.18 = 38.9%



**OWNER**  
 DISCOVERY LAKES, LLC.  
 15400 Knoll Trail Drive, Suite 230  
 Dallas, Texas 75248

**PROJECT INFORMATION**  
 Project No.: SBD22499  
 Date: April 14, 2023  
 Drawn By: GS9  
 Scale: 1"=200'  
 SHEET 1 of 1

**ENGINEER**  
 TEAGUE NALL AND PERKINS, INC.  
 825 Watters Creek Boulevard, Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 www.tnpsc.com  
 TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381  
 GBPE: PEF007431; TBAE: BR 2673

CASE NO. \_\_\_\_\_





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2023-011

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup> (100+307.18\*15=\$4707.70)
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup> (200+27.46\*15=\$611.90)
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 2	Lot	Block
General Location	27.46 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None
Proposed Zoning	PD-78	Proposed Use	Single Family Residential
Acreage	27.46	Lots [Current]	1
		Lots [Proposed]	31

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Alberto Dal-Cin	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-7944	Phone	817-889-5050
E-Mail	roquesv@towergrouptx.com	E-Mail	cslown@tnpinc.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Alberto Dal Cin [Owner] the undersigned, who stated the information on this application to be true and certified the following:

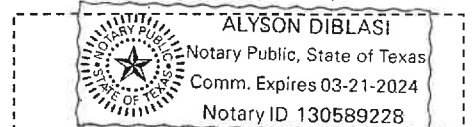
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$5,319.60, to cover the cost of this application, has been paid to the City of Rockwall on this the 13<sup>th</sup> day of April, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13<sup>th</sup> day of April, 20 23

Owner's Signature

Alberto Dal Cin  
Alyson Diblasi

Notary Public in and for the State of Texas



My Commission Expires 03-21-2024





Case Number: P2023-011 Preliminary Plat for Discovery Lakes Phase 2



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**UNANIMOUS CONSENT OF  
MAJORITY IN INTEREST OF THE CLASS A AND CLASS B MEMBERS  
OF DISCOVERY LAKES, LLC**

The undersigned being all of the Majority in Interest of the Class A and Class B Members of Discovery Lakes, LLC, (the "Company"), hereby adopt the following resolution, which resolution shall have the force and effect as if adopted at a duly called meeting of the Members of the Company.

RESOLVED that the Majority in Interest of the Class A and Class B Members hereby appoint and elect Alberto Dal Cin as the Manager of the Company.

Executed as of this 13<sup>th</sup> day of March 2023.

[Signature Page Follows]



CLASS A MEMBER – 100%

  
Alberto Dal Cin

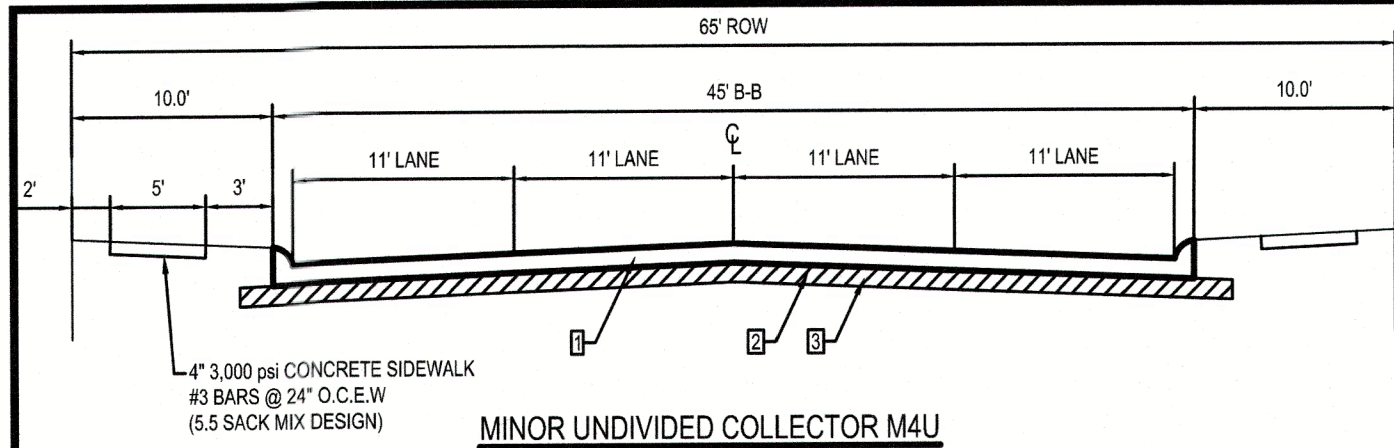
MAJORITY IN INTEREST OF CLASS B MEMBERS

DFG, LP – 64.5%  
a Texas limited partnership

By: Wellington Retail, Inc.  
Its General Partner

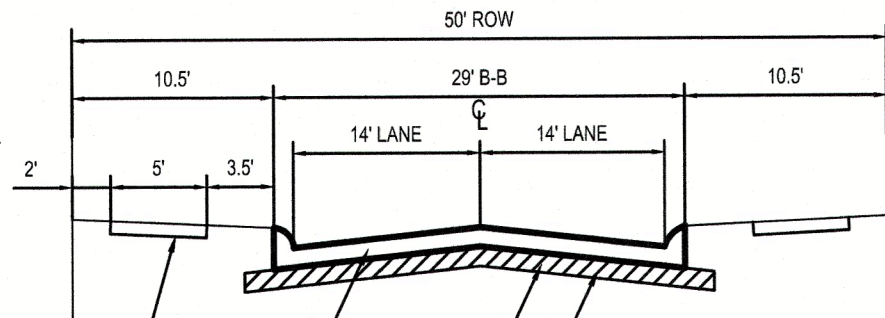
By:   
Alyson S. DiBlasi, President





**MINOR UNDIVIDED COLLECTOR M4U**

NOTES:  
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.



**LOCAL RESIDENTIAL SECTION**

- 8" 3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 4 BARS @ 18" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

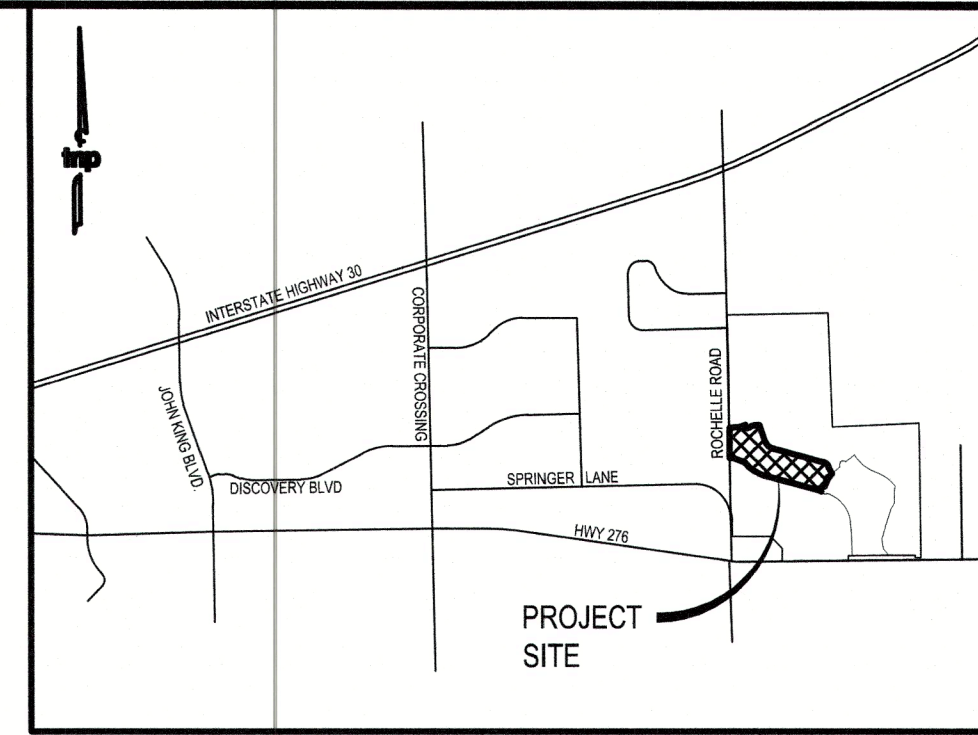
- 6" 3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°49'56"W	65.01'
L2	N88°23'46"E	115.59'
L3	N70°58'31"E	63.21'
L4	S19°01'28"E	65.00'
L5	N70°58'31"E	84.81'
L6	N89°18'10"E	19.16'
L7	S28°12'12"E	145.41'
L8	S28°21'37"W	50.00'
L9	S18°53'58"W	52.49'
L10	N70°42'27"W	223.87'
L11	S89°11'04"W	67.50'

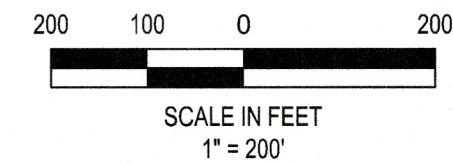
CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	116.04'	S88°23'40"W
L2	77.54'	S70°58'31"W

BOUNDARY CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	467.50'	17°25'09"	142.13'	N 79°41'06" E	141.58'
C2	467.50'	18°19'38"	149.54'	N 80°08'21" E	148.90'
C3	225.00'	55°57'07"	219.72'	S 47°00'02" E	211.10'
C4	175.00'	48°28'11"	148.04'	S 50°44'31" E	143.67'
C5	508.14'	12°50'28"	113.89'	S 38°52'28" W	113.65'
C6	550.00'	1°42'58"	16.47'	N 60°46'54" W	16.47'
C7	500.00'	1°41'50"	14.81'	S 60°47'28" E	14.81'
C8	525.00'	8°24'09"	76.99'	S 23°06'02" W	76.92'
C9	75.00'	109°47'34"	143.72'	S 34°31'54" W	122.72'
C10	250.00'	17°18'14"	75.50'	N 66°19'29" W	75.22'
C11	775.00'	37°14'03"	503.64'	N 56°21'35" W	494.82'

CENTERLINE CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	467.50'	17°25'09"	142.13'	N 79°41'06" E	141.58'
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**VICINITY MAP**  
N.T.S.



- LEGEND**
- NTS - NOT TO SCALE
  - R.O.W. - RIGHT OF WAY
  - INST. - INSTRUMENT
  - CAB. - CABINET
  - VOL. - VOLUME
  - NO. - NUMBER
  - PG. - PAGE
  - SF - SQUARE FEET
  - AC - ACRES
  - B.L. - BUILDING LINE
  - D.E. - DRAINAGE EASEMENT
  - W.E. - WATER EASEMENT
  - U.E. - UTILITY EASEMENT
  - O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
  - P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAS

NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



**PRELIMINARY PLAT**

*Discovery Lakes Phase 2*

31 RESIDENTIAL LOTS  
1,196,367 SQUARE FEET  
27.465 ACRES GROSS  
ZONED PD-78

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

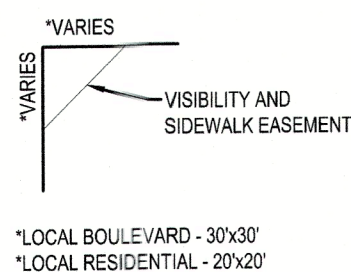
**OWNER**  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

**PROJECT INFORMATION**  
Project No.: SBD22499  
Date: April 14, 2023  
Drawn By: GS9  
Scale: 1"=200'  
SHEET 1 of 1

**ENGINEER**  
TEAGUE NALL AND PERKINS, INC.  
825 Watters Creek Boulevard, Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
www.tnpsc.com  
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381  
GBPE: PEF007431; TBAE: BR 2673

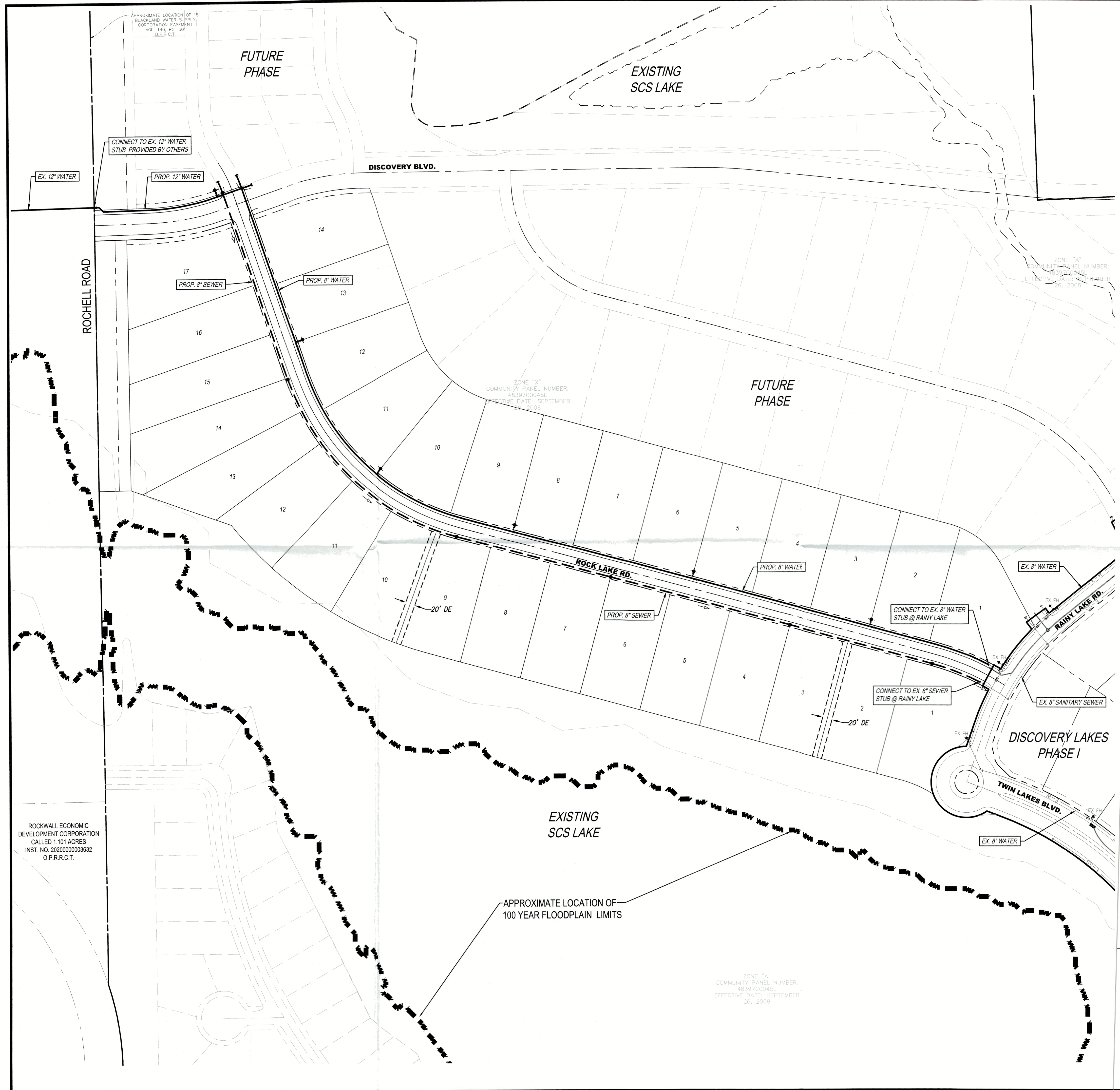


COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	289 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 16,619 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 96 LOTS TYPE B: 170/289 = 59% OF TOTAL LOTS TYPE C: 23/289 = 8% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	0.94 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	119.5/307.18 = 38.9%

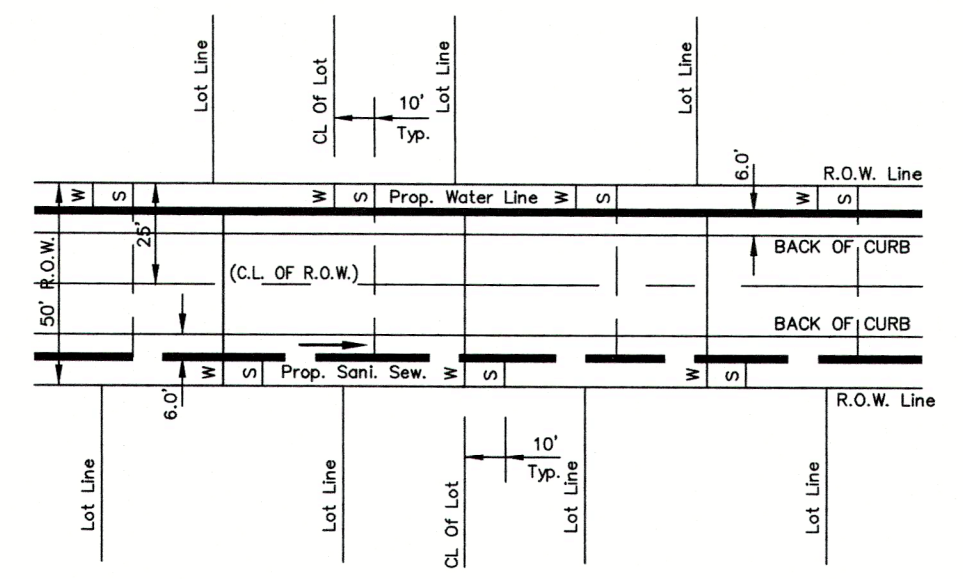
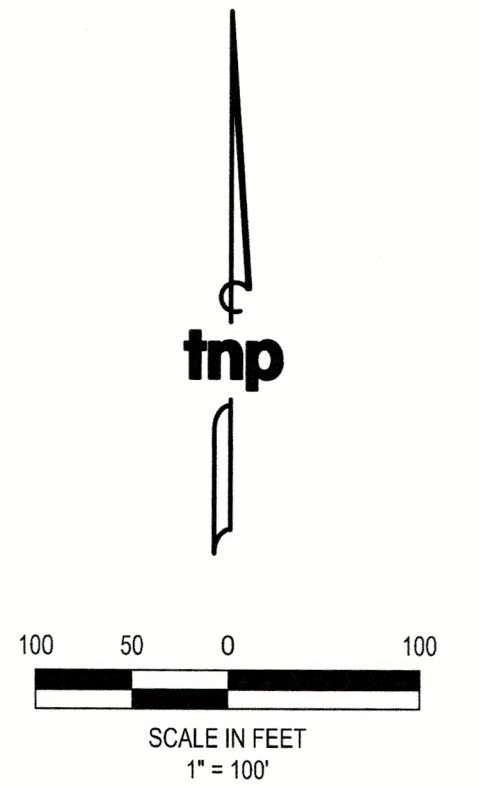


**TYPICAL VISIBILITY AND SIDEWALK EASEMENT**





NOTE: PER PD-78 ALL TYPE A LOTS W/ MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL  
N.T.S.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION CALLED 1.101 ACRES INST. NO. 2020000003632 O.P.R.R.C.T.

APPROXIMATE LOCATION OF 100 YEAR FLOODPLAIN LIMITS

ZONE "A" COMMUNITY PANEL NUMBER: 4839700048 EFFECTIVE DATE: SEPTEMBER 26, 2008

OWNER:  
DISCOVERY LAKES, LLC.  
15400 Knoll Trail Drive, Suite 230  
Dallas, Texas 75248

Preliminary Water & Sewer Plan  
31 Residential Lots  
*Discovery Lakes Phase 2*

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

**teague nall & perkins**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
TBPE Registration No. F-230  
www.tnpinc.com

PROJECT INFORMATION  
Project No.: SBD22499  
Date: APRIL 14, 2023  
Drawn By: TNP  
Scale: 1"=100'

SHEET 1 of 1

CASE NO. P





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: P2023-012  
PROJECT NAME: Final Plat for Park Hills Subdivision  
SITE ADDRESS/LOCATIONS:  
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-012) in the lower right-hand corner of all pages on future submittals.

M.4 Please move back the build line for Lot 41, Block D until the lot width is met for Type C Lot. (Ordinance No. 22-46)

M.5 Per the PD ordinance there can be 41 Type A Lots, 75 Type B Lots, and 28 Type C Lots. That being said, the total number of Type C lots cannot increase past this point. In this case, there are 31 Type C Lots, which will need to be reduced to the maximum of 28 lots. (Ordinance No. 22-46)

M.6 Please remove the preliminary language from the surveyor's signature block. A notary is not required for the surveyor, their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 The subdivision ordinance has been updated, which has caused changes to the platting language required on the plat. Please review the subdivision ordinance attached to the provided email. Please review Sections 38-7 and 38-9 to ensure all of the platting information is correct. Information to review is the Owner's Certification, all signature blocks, public improvement statement, and the storm drainage improvement statement. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Before the final plat will filed, staff needs a mylar copy of the preliminary plat for administrative signatures. The signature block on the preliminary plat will need to be swapped out with the administrative signature block located in the new subdivision ordinance. Work with staff to get this item wrapped up. (Section 38-7, Subdivision and Platting



I.8 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: April 25, 2023  
Planning and Zoning Public Hearing: May 9, 2023  
City Council: May 15, 2023

I.9 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - Easement width is 2 times the depth rounded to up to the nearest multiple of 5.
- Offsite easements Vol. ??, Pg. ??, Needs to be filed prior to plat.
  - Show 20' sewer esmt. through open space water easement for hydrant.
  - All flood plain shall be notated as drainage esmt. All sheets. Call out source of floodplain information.
  - Need bearing and distances.
  - Where is the drainage esmt for outfall? Label as "private"
  - Need b/d and curve data on detention/drainage esmt. Esmt. to be called out as "drainage and detention" esmt.
  - Make 20' UE an Open Space & Wtr Esmt. Lot ?, Blk?
  - Show 20' water line esmt. See engineering plans
  - Need to show cross sections and flood plain elevations
  - All flood plain shall be notated as drainage esmt. All sheets. Call out source of floodplain information. Water surface elevation a minimum of every 300'.
  - Show area with flume as a drainage easement inside open space.
  - Include Street names.
  - 527.65-Must be 2' above 525.65
  - 7. Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
  - 9. All non-standard decorative street signs, light poles, hardware, attachments, foundations, etc. shall be owned, maintained, repaired, and replaced by HOA.
  - 
  - See attached markups.
  - Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7: Subdivision and Platting Procedures...

(b)General Notes. The following General Notes shall be provided on all subdivision plats:

(1)Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2)Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.



(3)Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4)Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved w/ Comments

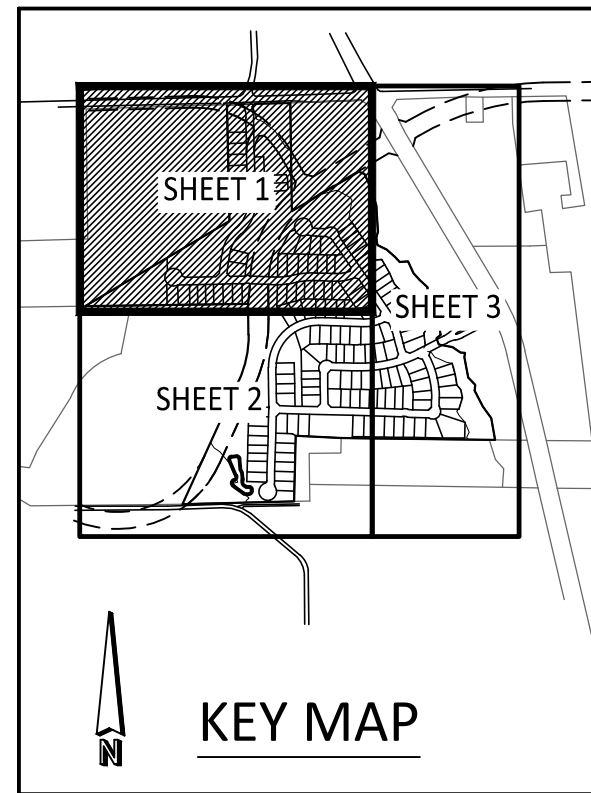
04/18/2023: 1. Will need a new street name in place of Shady Oaks Dr. (This street name is being used in a new addition under already construction).  
 2. Will also need an addition street name for the north-south segment of Overhill Dr.  
 3. Also send a CAD (.dwg) of the lot lines and street centerlines to lsingleton@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: Park District 21  
 Cash in Lieu of Land \$743.54 x 144 lots = \$107,069.76 (not collecting due to donation)  
 Pro Rata Equipment Fees \$697.81 x 144 lots = \$100,484.64  
 Total per lot (1) Lot \$1,441.35 x 144 lots = \$207,554.40  
 The developer is donating 1.855 acres of park land that is currently located on and adjacent to the Harry Myers Disc Golf Course. The required donation of land on this development is 1.5696 acres. The Park and Recreation Department is accepting this donation and not collecting Cash In Lieu of Land Fees. The only fees being collected are the Pro Rata Equipment Fees.





WHITTLE HIGHLANDS  
VOLUME 2019, PAGE 23024  
D.R.R.C.T.

N: 7029765.69  
E: 2599223.78  
N18°47'43"E 16,359.13' TO  
CITY MONUMENT #11

CTDIGLAND LLC  
VOLUME 2017, PAGE 22708  
D.R.R.C.T.

STATE HIGHWAY NO. 66  
(EXISTING 60' R.O.W.)

POINT OF BEGINNING

Red box: easement width is 2 times the depth rounded to up to the nearest multiple of 5.

Red box: Vol. ?? Pg. ?? Needs to be filed prior to plat

Red box: Show 20' sewer esmt. through open space water easement for hydrant.

Red box: All flood plain shall be notated as drainage esmt. All sheets. Call out source of floodplain information.

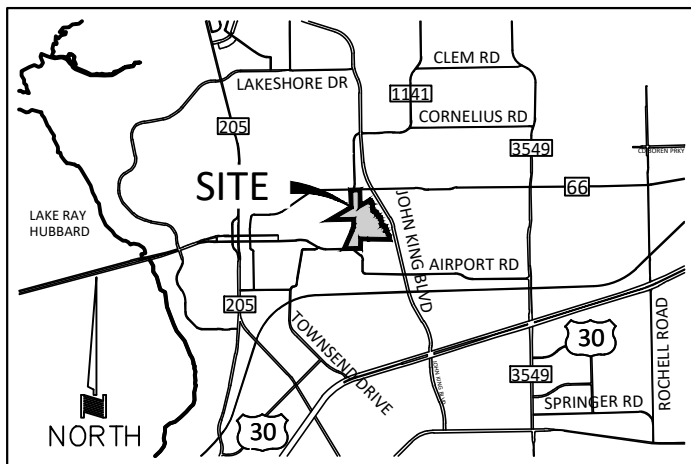
Red box: Need bearing and distances on all easements

Red box: easement width is 2 times the depth rounded to up to the nearest multiple of 5.

Red box: Not approximate...per approved study date ???

Red box: Need b/d and curve data on detention/drainage esmt. Esmt. to be called out as "drainage and detention" esmt.

Red box: Need bearing and distances

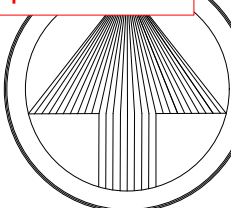


VICINITY MAP  
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- DUE Drainage Utility Easement
- Esmt Easement
- L1 Line No.
- SF Square Feet
- UE Utility Easement
- VAM Visibility Easement
- P.R.R.C.T.= Plat Records of Rockwall County, Texas
- D.R.R.C.T.= Deed Records of Rockwall County, Texas

Red box: Where is the drainage esmt for outfall? Label as "private"



SCALE 1" = 100'

FINAL PLAT  
PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF

144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN  
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

P2022-047

February 27, 2023

EXIST. ZONING: PD-71  
LAND USE: SF  
SHEET 1 OF 5

Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

JOHNSON VOLK  
CONSULTING  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

MATCH LINE - SHEET 2 OF 5

Red box: Make 20' UE an Open Space & Wtr Esmt. Lot ?, BIK?

MATCH LINE - SHEET 4 OF 5

ZONED: LI

ZONED: PD-71

Red box: Need bearing and distances

Red box: Where is the drainage esmt for outfall? Label as "private"

MATCH LINE - SHEET 2 OF 5

Red box: Make 20' UE an Open Space & Wtr Esmt. Lot ?, BIK?



589 10 22 W 27.57'

# MATCH LINE - SHEET 1 OF 5

MUNICIPAL PARK ADDITION  
CABINET B, SLIDE 49  
P.R.R.C.T.

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 756, PG. 277  
D.R.R.C.T.

CITY OF ROCKWALL  
VOLUME 2163, PAGE 96  
D.R.R.C.T.

ZONED: LI

All flood plain shall be notated as drainage esmt. All sheets. Call out source of floodplain information. Water surface elevation a minimum of every 300'.

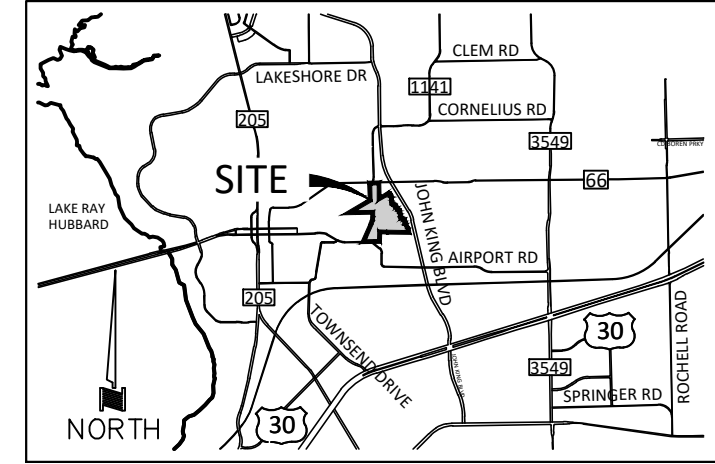
Need b/d and curve data on detention/drainage esmt. Esmt. to be called out as "drainage and detention" esmt.

Show and label "private drainage" esmts. for outfall

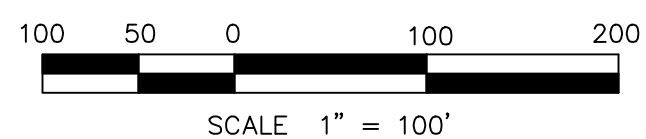
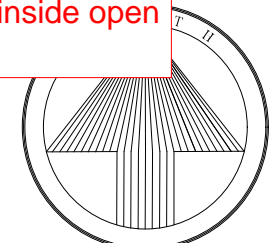
Need to show cross sections and flood plain elevations

Show 20' water line esmt. See engineering plans

Show area with flume as a drainage easement inside open space



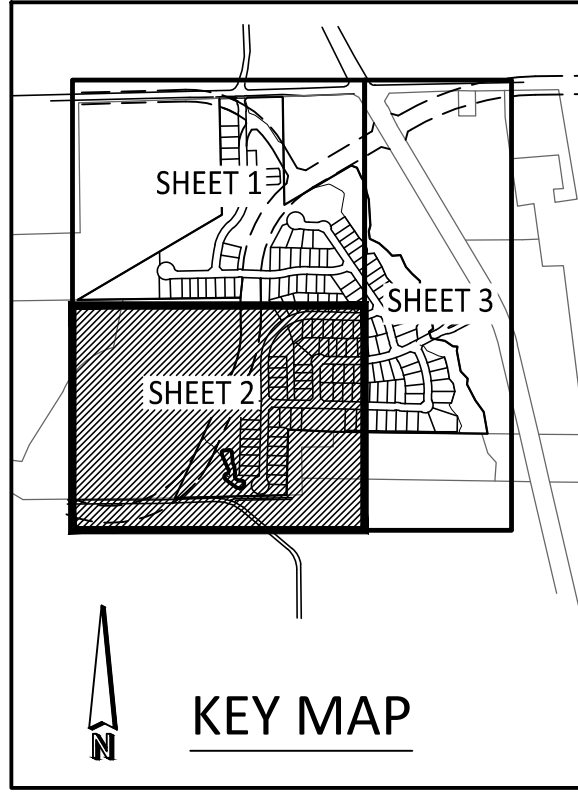
- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VAM Visibility Easement  
D.R.R.C.T.= Deed Records of Rockwall County, Texas



## FINAL PLAT PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF  
144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN  
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

P2022-047  
February 27, 2023  
EXIST. ZONING: PD-71  
LAND USE: SF  
SHEET 2 OF 5



Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

**JOHNSON VOLK CONSULTING**  
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

MATCH LINE - SHEET 3 OF 5

ZONED: AG

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 551, PG. 308  
D.R.R.C.T.

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 812, PG. 29  
D.R.R.C.T.

N: 7027182.77  
E: 2599659.86  
N26°54'26"E 14,685.16' TO  
CITY MONUMENT #11

S88°33'07"W 724.98'

S1°26'13"W 426.00'

N1°32'05"E 543.74'

N8°11'23"W 295.74'

D. RICHARD DEVENNEY AND WIFE,  
DIANA DEVENNEY  
VOLUME 165, PAGE 116  
D.R.R.C.T.

OVERHILL DRIVE

PARKLAND VALLEY

PARK HILLS BOULEVARD

PARKLAND VALLEY

FUTURE S.H. 66  
(VARIABLE P.C.O.W.)

PARKLAND VALLEY

DETENTION POND

OPEN SPACE

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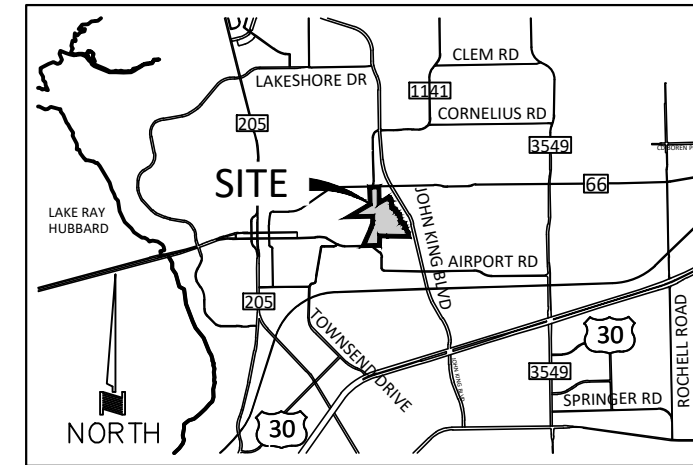
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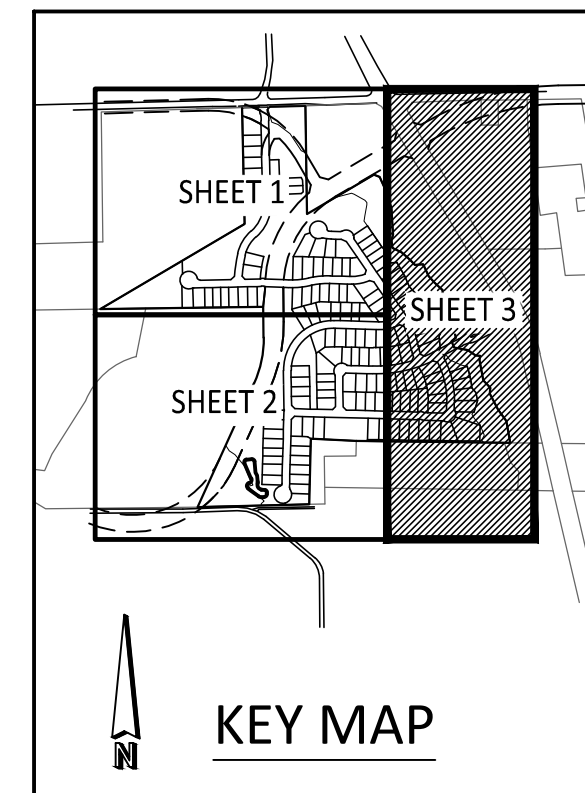
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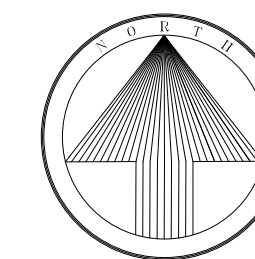
VICINITY MAP  
N.T.S.



KEY MAP

**LEGEND**

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- DUE Drainage Utility Easement
- Esmt Easement
- L1 Line No.
- SF Square Feet
- UE Utility Easement
- VAM Visibility Easement
- D.R.R.C.T. = Deed Records of Rockwall County, Texas



SCALE 1" = 100'

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
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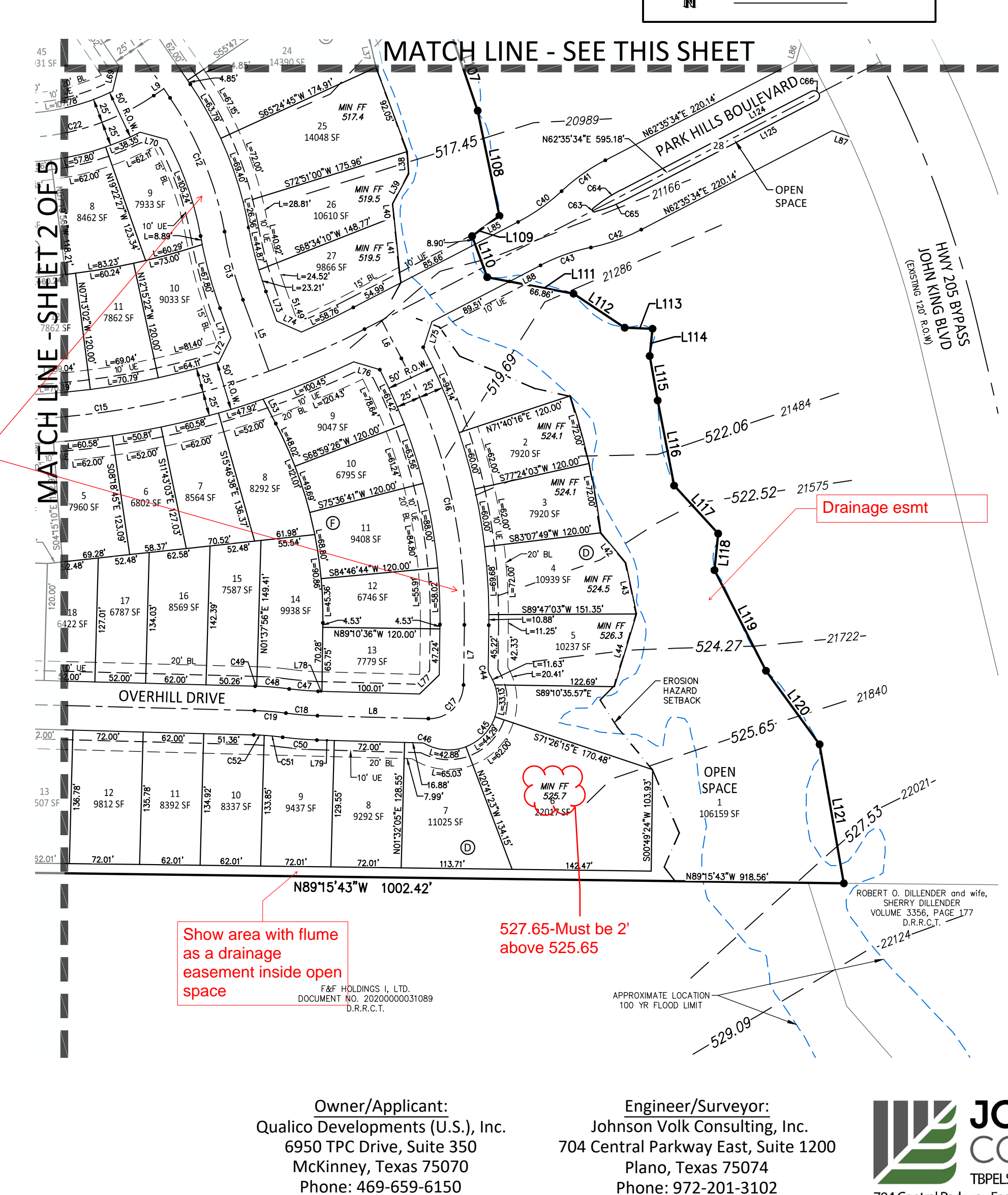
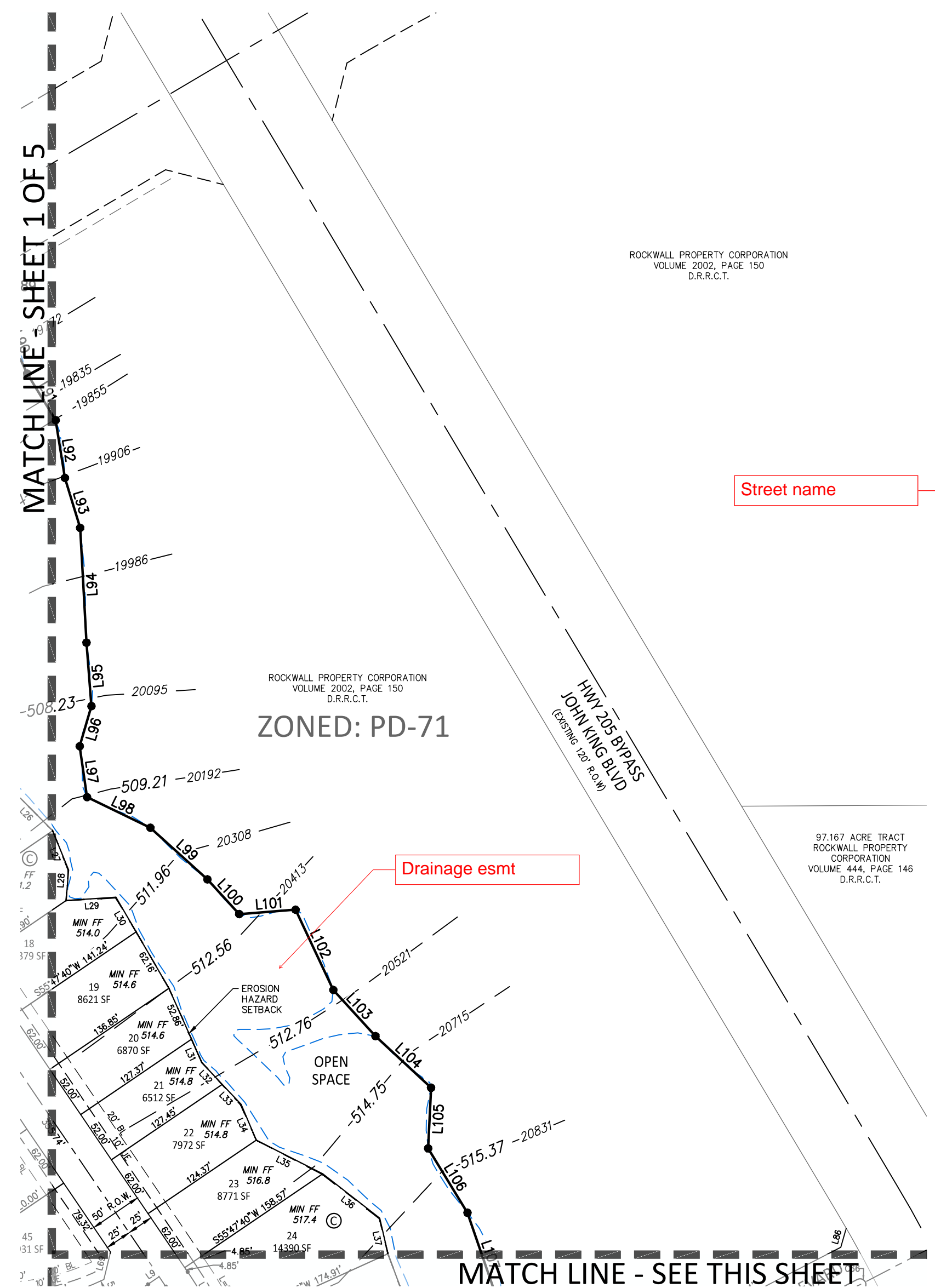
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
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SHEET 3 OF 5

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Phone: 972-201-3102  
Contact: Tom Dayton, PE



MATCH LINE - SHEET 1 OF 5

MATCH LINE - SHEET 2 OF 5

MATCH LINE - SEE THIS SHEET

MATCH LINE - SEE THIS SHEET

ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.

ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.

ZONED: PD-71

97.167 ACRE TRACT  
ROCKWALL PROPERTY CORPORATION  
VOLUME 444, PAGE 146  
D.R.R.C.T.

Show area with flume as a drainage easement inside open space

527.65-Must be 2' above 525.65

Drainage esmt

Drainage esmt



Line Table		
Line	Length	Direction
L1	65.23	S2° 04' 28"E
L2	25.00	N1° 14' 53"W
L3	15.39	S22° 50' 48"W
L4	86.48	S88° 27' 55"E
L5	77.75	S20° 01' 20"E
L6	44.07	N27° 24' 26"W
L7	61.64	S0° 49' 24"W
L8	113.76	S88° 27' 55"E
L9	12.44	N55° 47' 40"E
L10	17.00	N88° 22' 04"W
L11	15.84	S88° 20' 48"W
L12	15.84	N88° 20' 48"E
L13	28.74	N47° 26' 59"W
L14	62.09	S88° 20' 48"W
L15	12.72	S21° 51' 16"W
L16	27.29	S46° 30' 22"W
L17	19.00	N30° 30' 04"W
L18	16.52	N46° 40' 48"E
L19	25.17	N56° 06' 27"W
L20	10.61	N24° 28' 52"W
L21	25.42	S59° 30' 28"W
L22	46.54	S88° 13' 03"W
L23	32.84	S70° 54' 01"W
L24	52.00	S34° 12' 20"E
L25	52.00	S34° 12' 20"E

Line Table		
Line	Length	Direction
L26	52.90	S44° 46' 36"E
L27	40.25	S22° 05' 32"E
L28	29.15	S4° 49' 15"W
L29	47.55	N86° 10' 29"E
L30	38.04	S30° 09' 15"E
L31	24.20	S23° 52' 46"E
L32	28.53	S43° 06' 53"E
L33	26.13	S43° 06' 53"E
L34	36.88	S23° 03' 47"E
L35	70.81	S63° 05' 21"E
L36	68.69	S52° 08' 24"E
L37	34.60	S12° 49' 43"E
L38	22.92	S3° 57' 54"E
L39	34.78	S28° 45' 30"W
L40	13.63	S6° 02' 04"E
L41	67.86	S6° 02' 04"E
L42	39.95	N39° 43' 05"W
L43	53.70	N11° 48' 15"W
L44	77.80	N16° 57' 28"E
L45	1.85	N0° 25' 39"E
L46	10.59	N60° 00' 26"W
L47	15.15	N87° 11' 23"W
L48	23.50	N54° 21' 56"W
L49	10.61	S22° 52' 40"E
L50	23.23	N24° 23' 30"E

Line Table		
Line	Length	Direction
L51	17.07	S55° 41' 52"W
L52	51.81	S55° 41' 52"W
L53	28.28	N27° 24' 26"W
L54	24.65	N75° 10' 57"E
L55	4.27	N1° 32' 05"E
L56	36.65	N89° 07' 35"E
L57	28.20	N46° 29' 00"W
L58	14.37	S88° 20' 48"W
L59	15.62	N86° 17' 18"E
L60	27.57	S43° 31' 00"W
L61	33.86	S1° 18' 48"E
L62	26.98	S43° 39' 22"E
L63	29.47	S46° 12' 57"W
L64	6.69	S88° 45' 07"W
L65	28.44	S88° 45' 07"W
L66	37.31	N67° 20' 11"W
L67	25.61	N15° 58' 42"E
L68	30.30	N74° 58' 04"W
L69	26.83	N13° 40' 06"E
L70	28.46	N74° 48' 07"W
L71	32.36	N20° 01' 20"W
L72	27.66	N26° 13' 25"E
L73	32.36	S20° 01' 20"E
L74	27.66	N66° 16' 04"W
L75	28.28	N17° 35' 38"E

Line Table		
Line	Length	Direction
L76	27.89	N73° 13' 08"W
L77	28.11	N46° 10' 45"E
L78	3.88	S88° 27' 55"E
L79	17.93	S88° 27' 55"E
L80	28.85	S44° 37' 42"E
L81	27.70	N45° 22' 18"E
L82	27.71	N45° 22' 02"E
L83	28.90	N44° 43' 30"W
L84	28.31	S46° 35' 01"W
L85	49.54	N62° 35' 34"E
L86	18.92	N16° 08' 24"E
L87	18.46	S70° 57' 16"E
L88	35.86	N62° 35' 34"E
L89	40.60	S69° 21' 48"E
L90	64.89	S25° 06' 25"E
L91	51.80	S31° 25' 37"E
L92	55.61	S9° 09' 13"E
L93	49.61	S16° 55' 05"E
L94	109.33	S3° 11' 20"E
L95	60.49	S4° 27' 24"E
L96	39.76	S16° 19' 49"W
L97	48.89	S8° 12' 45"E
L98	66.87	S64° 09' 47"E
L99	73.04	S47° 50' 45"E
L100	44.81	S42° 29' 55"E

Line Table		
Line	Length	Direction
L101	53.72	N85° 31' 53"E
L102	84.31	S25° 10' 09"E
L103	59.42	S47° 22' 14"E
L104	72.07	S47° 09' 28"E
L105	57.76	S2° 46' 29"W
L106	71.66	S31° 26' 15"E
L107	88.10	S18° 53' 46"E
L108	110.02	S11° 41' 53"E
L109	34.88	S53° 25' 21"W
L110	44.84	S20° 12' 22"E
L111	90.02	S79° 08' 23"E
L112	62.92	S56° 28' 11"E
L113	28.55	S87° 49' 07"E
L114	28.02	S5° 58' 08"W
L115	46.33	S10° 07' 55"E
L116	88.76	S10° 56' 13"E
L117	66.83	S42° 32' 37"E
L118	37.66	S5° 48' 00"W
L119	115.84	S27° 06' 51"E
L120	93.26	S36° 05' 07"E
L121	144.51	S9° 53' 27"E
L122	201.44	N0° 37' 07"W
L123	27.70	N42° 28' 16"E
L124	220.14	S62° 35' 34"W
L125	220.14	N62° 35' 34"E

**GENERAL NOTES:**

- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
- ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
- BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
- LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
- LOTS ADJACENT TO FLOODPLAIN AND DETENTION AREAS SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.

7. Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

9. All non-standard decorative street signs, light poles, hardware, attachments, foundations, etc. shall be owned, maintained, repaired, and replaced by HOA.

Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7: Subdivision and Platting Procedures...

(b)General Notes. The following General Notes shall be provided on all subdivision plats:

(1)Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2)Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3)Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4)Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	40.71	300.00	007°46'27"	40.67	S05° 57' 41"E
C2	48.41	325.00	008°32'06"	48.37	N05° 34' 51"W
C3	218.57	250.00	050°05'31"	211.67	N23° 43' 57"E
C4	157.49	250.00	036°05'37"	154.90	S30° 43' 54"W
C5	188.19	988.00	010°54'48"	187.90	S07° 13' 41"W
C6	18.94	300.00	003°37'01"	18.93	N89° 26' 22"W
C7	133.38	500.00	015°17'05"	132.99	N84° 43' 36"E
C8	136.19	540.00	014°27'02"	135.83	S84° 18' 34"W
C9	150.33	250.00	034°27'13"	148.08	N74° 18' 29"E
C10	92.99	250.00	021°18'43"	92.46	S77° 48' 33"E
C11	33.15	35.00	054°15'35"	31.92	N61° 20' 07"W
C12	149.06	355.00	024°03'27"	147.97	N22° 10' 36"W
C13	72.38	420.00	009°52'27"	72.29	S15° 05' 06"E
C14	56.40	35.00	092°19'34"	50.49	S45° 22' 18"W
C15	419.26	830.00	028°56'31"	414.82	N77° 03' 50"E
C16	283.31	575.00	028°13'51"	280.46	N13° 17' 31"W
C17	55.41	35.00	090°42'41"	49.80	N46° 10' 45"E
C18	32.42	300.00	006°11'30"	32.40	S85° 22' 10"E
C19	32.42	300.00	006°11'30"	32.40	N85° 22' 10"W
C20	11.42	250.00	002°37'02"	11.42	S00° 19' 26"W
C21	476.36	295.00	092°31'11"	426.26	S45° 16' 30"W
C22	155.95	250.00	035°44'25"	153.43	N73° 39' 53"E
C23	37.39	57.00	037°35'14"	36.73	N24° 42' 01"W
C24	26.75	20.50	074°45'45"	24.89	S53° 52' 00"E
C25	87.50	57.50	087°11'25"	79.30	S03° 07' 58"W
C26	6.02	20.50	016°49'29"	6.00	S80° 20' 23"W
C27	20.52	325.00	003°37'01"	20.51	N89° 26' 22"W
C28	17.36	275.00	003°37'01"	17.36	N89° 26' 22"W
C29	23.52	475.00	002°50'15"	23.52	S89° 02' 59"E
C30	26.44	525.00	002°53'07"	26.43	N89° 04' 25"W
C31	6.45	10.00	036°58'24"	6.34	S84° 23' 43"W
C32	197.67	57.50	196°58'07"	113.74	S79° 23' 05"W
C33	14.23	10.00	081°33'24"	13.06	S42° 54' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C34	5.86	10.00	033°33'26"	5.77	N74° 45' 22"E
C35	91.30	50.00	104°37'28"	79.14	N69° 42' 37"W
C36	5.86	10.00	033°33'26"	5.77	S17° 25' 37"E
C37	5.31	10.00	030°26'20"	5.25	N16° 00' 39"W
C38	52.11	50.00	059°42'56"	49.78	S10° 30' 31"W
C39	6.46	10.00	036°59'16"	6.34	S69° 58' 17"E
C40	54.94	200.00	015°44'26"	54.77	N54° 43' 21"E
C41	54.94	200.00	015°44'26"	54.77	S54° 43' 21"W
C42	54.94	200.00	015°44'26"	54.77	N70° 27' 47"E
C43	54.94	200.00	015°44'26"	54.77	S70° 27' 47"W
C44	5.86	10.00	033°33'26"	5.77	S15° 57' 19"E
C45	44.29	50.00	050°44'52"	42.85	N43° 56' 11"E
C46	4.70	10.00	026°55'00"	4.65	S75° 00' 25"E
C47	29.72	275.00	006°11'30"	29.70	S85° 22' 10"E
C48	33.38	325.00	005°53'06"	33.37	N85° 12' 58"W
C49	1.74	325.00	000°18'24"	1.74	N88° 18' 43"W
C50	35.12	325.00	006°11'30"	35.10	S85° 22' 10"E
C51	19.08	275.00	003°58'28"	19.07	N84° 15' 39"W
C52	10.64	275.00	002°13'02"	10.64	N87° 21' 24"W
C53	13.15	20.50	036°44'50"	12.92	S16° 44' 29"E
C54	176.43	57.50	175°48'22"	114.92	S17° 42' 07"E
C55	15.17	20.50	042°24'46"	14.83	N48° 59' 41"E
C56	305.56	700.00	025°00'38"	303.14	N11° 53' 11"E
C57	20.94	20.00	060°00'00"	20.00	S61° 39' 12"E
C58	5.24	5.00	060°00'00"	5.00	S01° 39' 12"E
C59	20.94	20.00	060°00'00"	20.00	S58° 20' 48"W
C60	20.94	20.00	060°00'00"	20.00	N61° 39' 12"W
C61	5.24	5.00	060°00'00"	5.00	N01° 39' 12"W
C62	20.94	20.00	060°00'00"	20.00	N58° 20' 48"E
C63	5.45	2.00	156°14'49"	3.91	S27° 24' 26"E
C64	34.31	165.50	011°52'36"	34.24	S56° 39' 16"W
C65	34.31	165.50	011°52'36"	34.24	N68° 31' 52"E
C66	17.28	5.50	180°00'00"	11.00	N27° 24' 26"W

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF

144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN

TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183

**CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**

P2022-047

February 24, 2023

EXIST. ZONING: PD-71

LAND USE: SF

SHEET 4 OF 5

Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup> & <sup>2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John King Blvd, Rockwall, TX 75087

SUBDIVISION Park Hills : ABS A0183, G W Redlin Tract 1, 6-1, 6 LOT BLOCK

GENERAL LOCATION Southwest of Intersection at John King Blvd & Williams Street (Hwy 66)

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-97 CURRENT USE Planned Development PD-97

PROPOSED ZONING PROPOSED USE

ACREAGE 65.309 LOTS [CURRENT] 152 LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

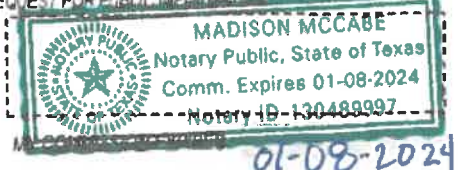
### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

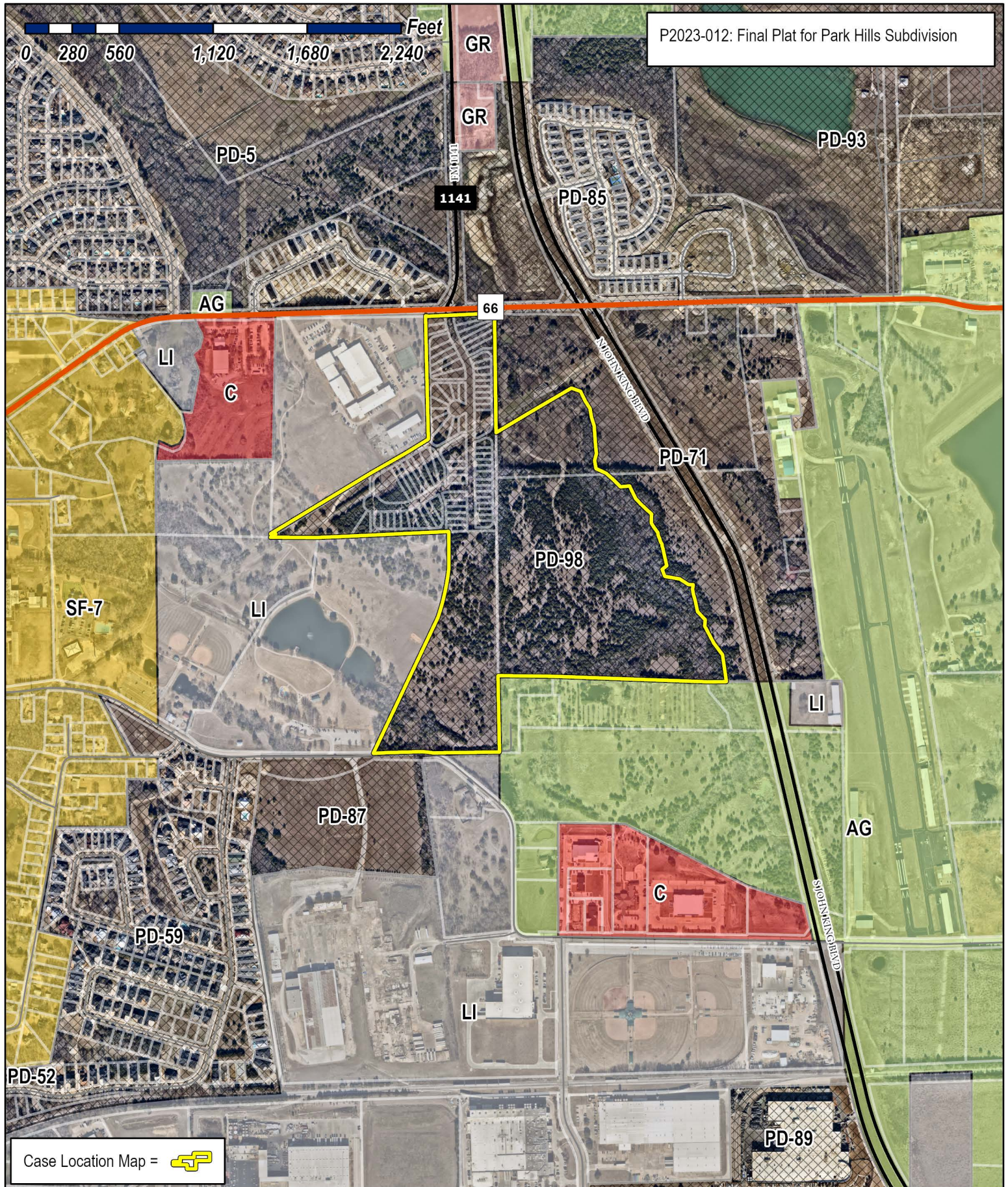
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1606.48 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF March 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March 2023

OWNER'S SIGNATURE John Vick  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Madison McCabe







P2023-012: Final Plat for Park Hills Subdivision

0 280 560 1,120 1,680 2,240 Feet

Case Location Map =



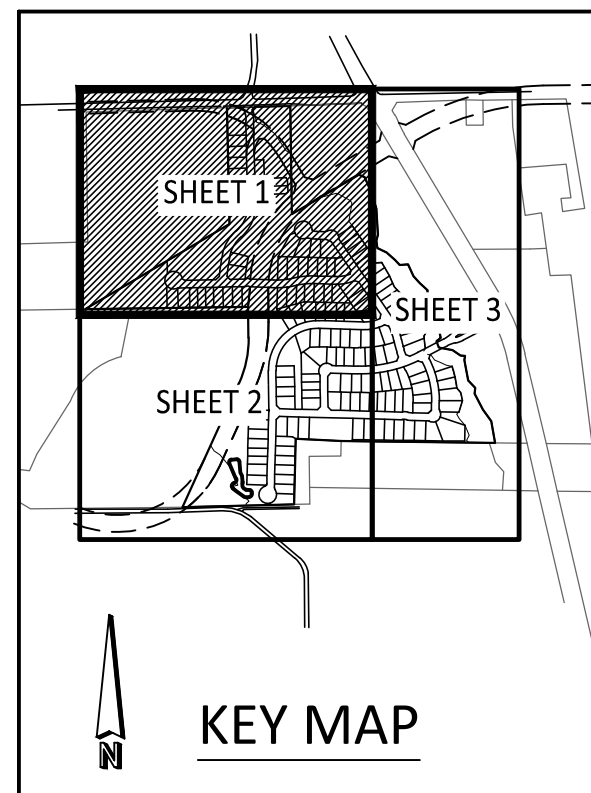
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







WHITTLE HIGHLANDS  
VOLUME 2019, PAGE 23024  
D.R.R.C.T.

N: 7029765.69  
E: 2599223.78  
N18°47'43"E 16,359.13' TO  
CITY MONUMENT #11

CTDIGLAND LLC  
VOLUME 2017, PAGE 22708  
D.R.R.C.T.

STATE HIGHWAY NO. 66  
(EXISTING 60' R.O.W.)

POINT OF BEGINNING

N88°29'03"E 411.45'

ZONED: PD-71

MATCH LINE - SHEET 4 OF 5

ZONED: LI

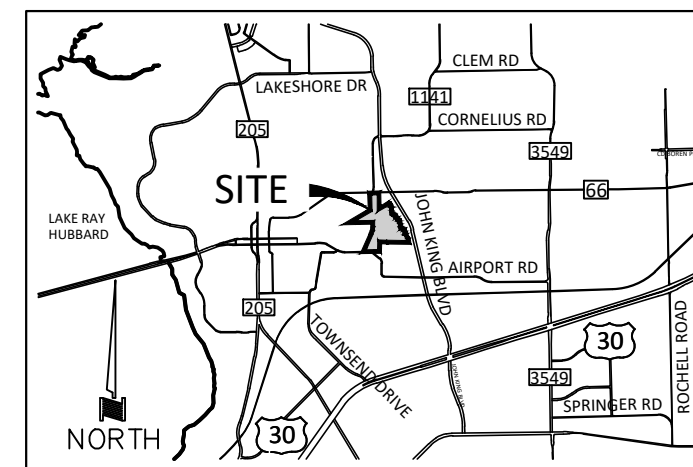
ROCKWALL INDEPENDENT SCHOOL DISTRICT  
VOLUME 105, PAGE 153  
D.R.R.C.T.

50' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 558, PG. 88  
D.R.R.C.T.

TEXAS POWER & LIGHT EASEMENT  
VOL. 178, PG. 928  
D.R.R.C.T.

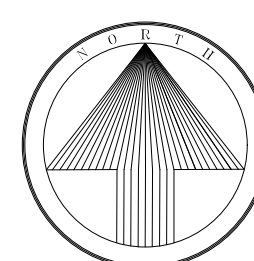
OPEN SPACE  
PARKLAND  
DEDICATION TO  
CITY OF ROCKWALL

MATCH LINE - SHEET 2 OF 5



VICINITY MAP  
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VAM Visibility Easement  
P.R.R.C.T.= Plat Records of Rockwall County, Texas  
D.R.R.C.T.= Deed Records of Rockwall County, Texas



SCALE 1" = 100'

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF  
144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN  
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

P2022-047

February 27, 2023

EXIST. ZONING: PD-71  
LAND USE: SF  
SHEET 1 OF 5

Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



589 10 20 W 27.07'

# MATCH LINE - SHEET 1 OF 5

MUNICIPAL PARK ADDITION  
CABINET B, SLIDE 49  
P.R.R.C.T.

CITY OF ROCKWALL  
VOLUME 2163, PAGE 96  
D.R.R.C.T.

## ZONED: LI

APPROXIMATE LOCATION  
100 YR FLOOD LIMIT

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 756, PG. 277  
D.R.R.C.T.

110' R.O.W.  
RESERVATION  
FOR FUT. FOOT  
ROADWAY

FUTURE S.H. 66  
(VARIABLE P.C.O.W.)

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 551, PG. 308  
D.R.R.C.T.

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 812, PG. 29  
D.R.R.C.T.

EROSION  
HAZARD  
SETBACK

30' LANDSCAPE  
BUFFER

DETENTION POND

### PARKLAND VALLEY

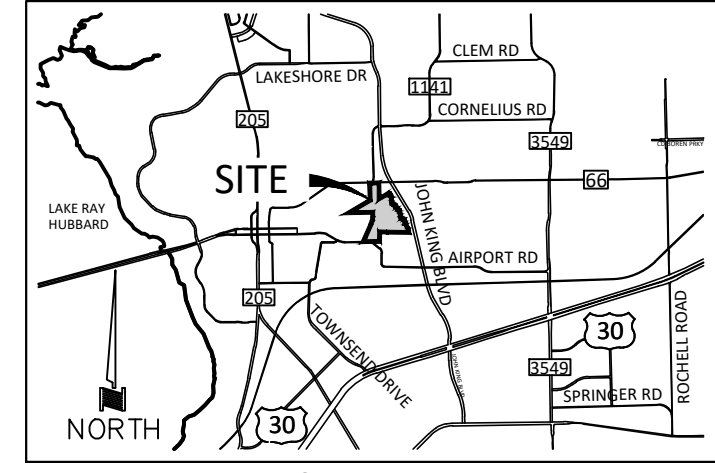
### PARK HILLS BOULEVARD

### OVERHILL DRIVE

## ZONED: AG

D. RICHARD DEVENNEY AND WIFE,  
DIANA DEVENNEY  
VOLUME 165, PAGE 116  
D.R.R.C.T.

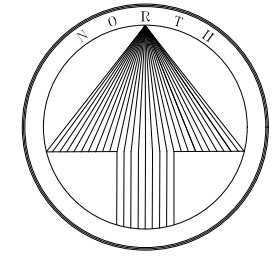
N: 7027182.77  
E: 2599659.86  
N26°54'26"E 14,685.16' TO  
CITY MONUMENT #11



VICINITY MAP  
N.T.S.

### LEGEND

- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VAM Visibility Easement  
D.R.R.C.T.= Deed Records of Rockwall County, Texas



SCALE 1" = 100'

## FINAL PLAT PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
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TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183

CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

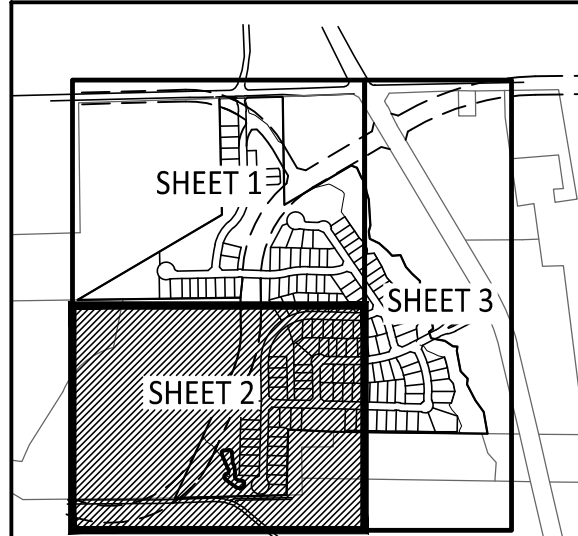
P2022-047

February 27, 2023

EXIST. ZONING: PD-71

LAND USE: SF

SHEET 2 OF 5



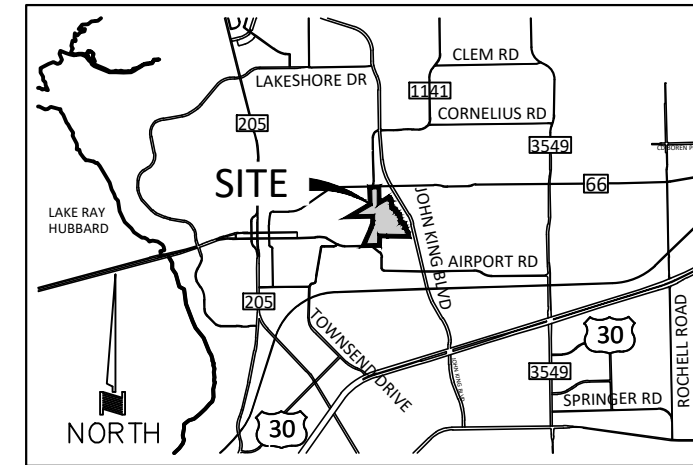
KEY MAP

Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

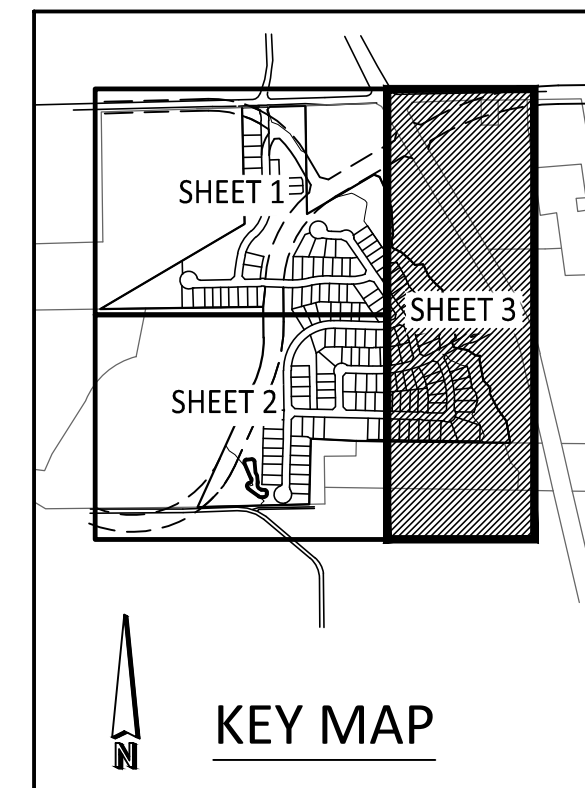
Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100





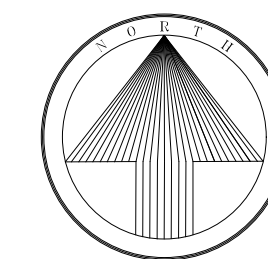
VICINITY MAP  
N.T.S.



KEY MAP

**LEGEND**

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- DUE Drainage Utility Easement
- Esmt Easement
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- D.R.R.C.T. = Deed Records of Rockwall County, Texas



SCALE 1" = 100'

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
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CITY OF ROCKWALL,  
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P2022-047

February 27, 2023

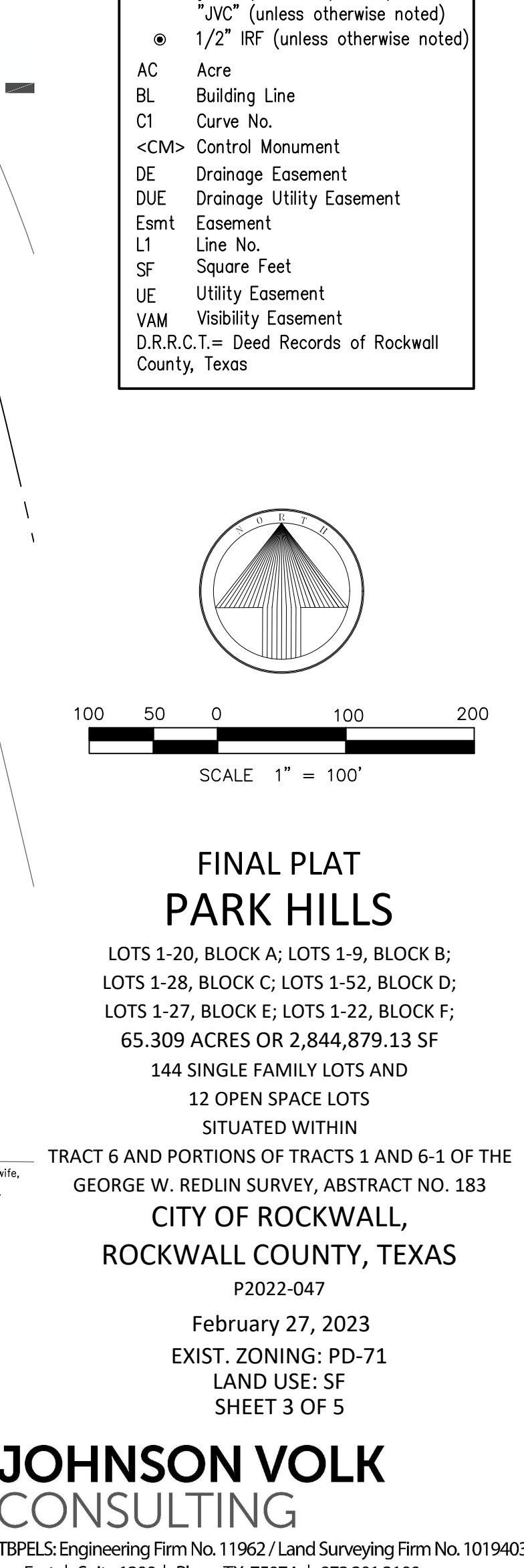
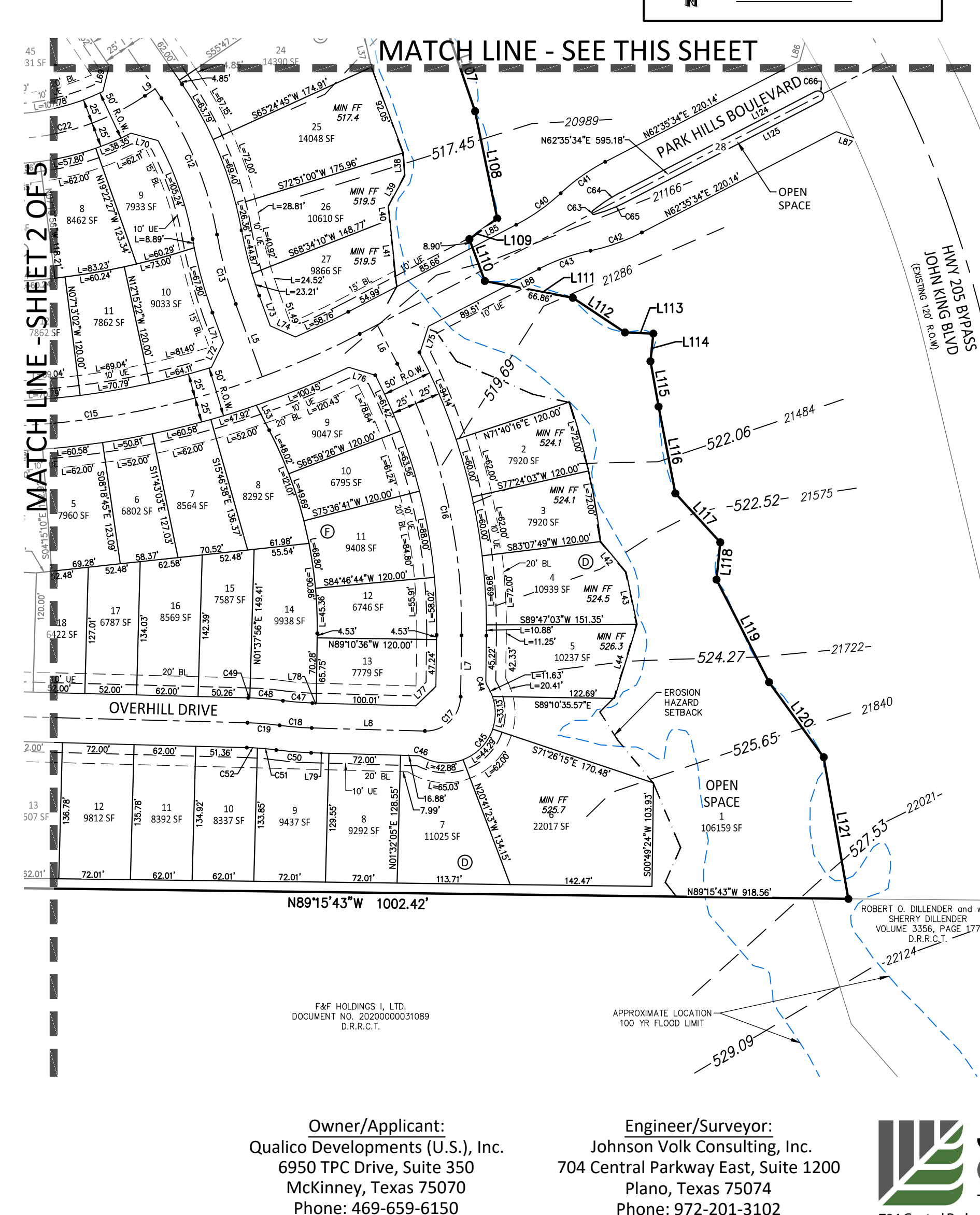
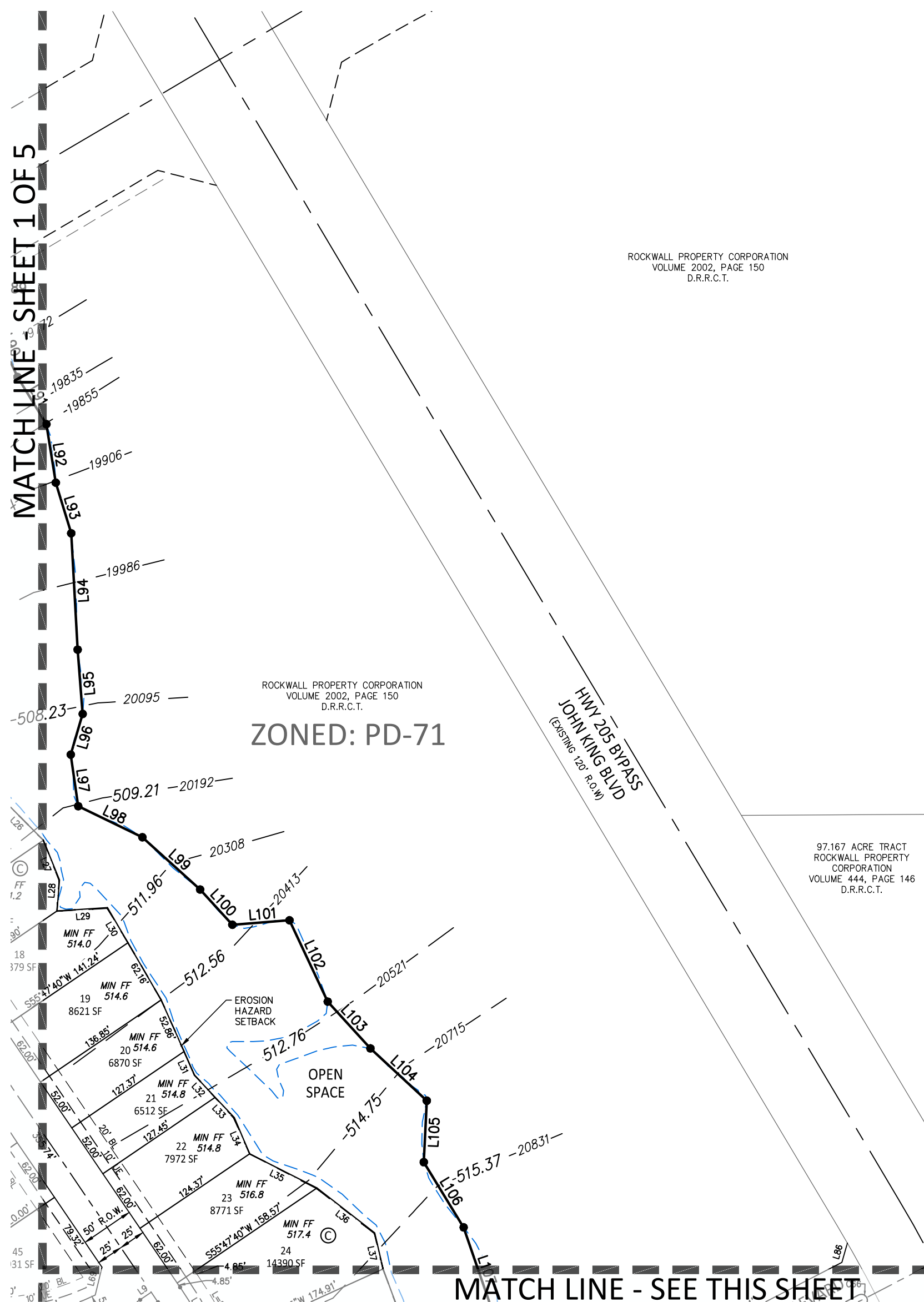
EXIST. ZONING: PD-71  
LAND USE: SF  
SHEET 3 OF 5



TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**Owner/Applicant:**  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE



ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.

ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.

ZONED: PD-71

97.167 ACRE TRACT  
ROCKWALL PROPERTY CORPORATION  
VOLUME 444, PAGE 146  
D.R.R.C.T.

F&F HOLDINGS I, LTD.  
DOCUMENT NO. 2020000031089  
D.R.R.C.T.

ROBERT O. DILLENDER and wife,  
SHERRY DILLENDER  
VOLUME 3356, PAGE 177  
D.R.R.C.T.

MATCH LINE - SEE THIS SHEET

MATCH LINE - SEE THIS SHEET

MATCH LINE - SHEET 2 OF 5

MATCH LINE - SHEET 1 OF 5



Line Table		
Line	Length	Direction
L1	65.23	S2° 04' 28"E
L2	25.00	N1° 14' 53"W
L3	15.39	S22° 50' 48"W
L4	86.48	S88° 27' 55"E
L5	77.75	S20° 01' 20"E
L6	44.07	N27° 24' 26"W
L7	61.64	S0° 49' 24"W
L8	113.76	S88° 27' 55"E
L9	12.44	N55° 47' 40"E
L10	17.00	N88° 22' 04"W
L11	15.84	S88° 20' 48"W
L12	15.84	N88° 20' 48"E
L13	28.74	N47° 26' 59"W
L14	62.09	S88° 20' 48"W
L15	12.72	S21° 51' 16"W
L16	27.29	S46° 30' 22"W
L17	19.00	N30° 30' 04"W
L18	16.52	N46° 40' 48"E
L19	25.17	N56° 06' 27"W
L20	10.61	N24° 28' 52"W
L21	25.42	S59° 30' 28"W
L22	46.54	S88° 13' 03"W
L23	32.84	S70° 54' 01"W
L24	52.00	S34° 12' 20"E
L25	52.00	S34° 12' 20"E

Line Table		
Line	Length	Direction
L26	52.90	S44° 46' 36"E
L27	40.25	S22° 05' 32"E
L28	29.15	S4° 49' 15"W
L29	47.55	N86° 10' 29"E
L30	38.04	S30° 09' 15"E
L31	24.20	S23° 52' 46"E
L32	28.53	S43° 06' 53"E
L33	26.13	S43° 06' 53"E
L34	36.88	S23° 03' 47"E
L35	70.81	S63° 05' 21"E
L36	68.69	S52° 08' 24"E
L37	34.60	S12° 49' 43"E
L38	22.92	S3° 57' 54"E
L39	34.78	S28° 45' 30"W
L40	13.63	S6° 02' 04"E
L41	67.86	S6° 02' 04"E
L42	39.95	N39° 43' 05"W
L43	53.70	N11° 48' 15"W
L44	77.80	N16° 57' 28"E
L45	1.85	N0° 25' 39"E
L46	10.59	N60° 00' 26"W
L47	15.15	N87° 11' 23"W
L48	23.50	N54° 21' 56"W
L49	10.61	S22° 52' 40"E
L50	23.23	N24° 23' 30"E

Line Table		
Line	Length	Direction
L51	17.07	S55° 41' 52"W
L52	51.81	S55° 41' 52"W
L53	28.28	N27° 24' 26"W
L54	24.65	N75° 10' 57"E
L55	4.27	N1° 32' 05"E
L56	36.65	N89° 07' 35"E
L57	28.20	N46° 29' 00"W
L58	14.37	S88° 20' 48"W
L59	15.62	N86° 17' 18"E
L60	27.57	S43° 31' 00"W
L61	33.86	S1° 18' 48"E
L62	26.98	S43° 39' 22"E
L63	29.47	S46° 12' 57"W
L64	6.69	S88° 45' 07"W
L65	28.44	S88° 45' 07"W
L66	37.31	N67° 20' 11"W
L67	25.61	N15° 58' 42"E
L68	30.30	N74° 58' 04"W
L69	26.83	N13° 40' 06"E
L70	28.46	N74° 48' 07"W
L71	32.36	N20° 01' 20"W
L72	27.66	N26° 13' 25"E
L73	32.36	S20° 01' 20"E
L74	27.66	N66° 16' 04"W
L75	28.28	N17° 35' 38"E

Line Table		
Line	Length	Direction
L76	27.89	N73° 13' 08"W
L77	28.11	N46° 10' 45"E
L78	3.88	S88° 27' 55"E
L79	17.93	S88° 27' 55"E
L80	28.85	S44° 37' 42"E
L81	27.70	N45° 22' 18"E
L82	27.71	N45° 22' 02"E
L83	28.90	N44° 43' 30"W
L84	28.31	S46° 35' 01"W
L85	49.54	N62° 35' 34"E
L86	18.92	N16° 08' 24"E
L87	18.46	S70° 57' 16"E
L88	35.86	N62° 35' 34"E
L89	40.60	S69° 21' 48"E
L90	64.89	S25° 06' 25"E
L91	51.80	S31° 25' 37"E
L92	55.61	S9° 09' 13"E
L93	49.61	S16° 55' 05"E
L94	109.33	S3° 11' 20"E
L95	60.49	S4° 27' 24"E
L96	39.76	S16° 19' 49"W
L97	48.89	S8° 12' 45"E
L98	66.87	S64° 09' 47"E
L99	73.04	S47° 50' 45"E
L100	44.81	S42° 29' 55"E

Line Table		
Line	Length	Direction
L101	53.72	N85° 31' 53"E
L102	84.31	S25° 10' 09"E
L103	59.42	S42° 22' 14"E
L104	72.07	S47° 09' 28"E
L105	57.76	S2° 46' 29"W
L106	71.66	S31° 26' 15"E
L107	88.10	S18° 53' 46"E
L108	110.02	S11° 41' 53"E
L109	34.88	S53° 25' 21"W
L110	44.84	S20° 12' 22"E
L111	90.02	S79° 08' 23"E
L112	62.92	S56° 28' 11"E
L113	28.55	S87° 49' 07"E
L114	28.02	S5° 58' 08"W
L115	46.33	S10° 07' 55"E
L116	88.76	S10° 56' 13"E
L117	66.83	S42° 32' 37"E
L118	37.66	S5° 48' 00"W
L119	115.84	S27° 06' 51"E
L120	93.26	S36° 05' 07"E
L121	144.51	S9° 53' 27"E
L122	201.44	N0° 37' 07"W
L123	27.70	N42° 28' 16"E
L124	220.14	S62° 35' 34"W
L125	220.14	N62° 35' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	40.71	300.00	007°46'27"	40.67	S05° 57' 41"E
C2	48.41	325.00	008°32'06"	48.37	N05° 34' 51"W
C3	218.57	250.00	050°05'31"	211.67	N23° 43' 57"E
C4	157.49	250.00	036°05'37"	154.90	S30° 43' 54"W
C5	188.19	988.00	010°54'48"	187.90	S07° 13' 41"W
C6	18.94	300.00	003°37'01"	18.93	N89° 26' 22"W
C7	133.38	500.00	015°17'05"	132.99	N84° 43' 36"E
C8	136.19	540.00	014°27'02"	135.83	S84° 18' 34"W
C9	150.33	250.00	034°27'13"	148.08	N74° 18' 29"E
C10	92.99	250.00	021°18'43"	92.46	S77° 48' 33"E
C11	33.15	35.00	054°15'35"	31.92	N61° 20' 07"W
C12	149.06	355.00	024°03'27"	147.97	N22° 10' 36"W
C13	72.38	420.00	009°52'27"	72.29	S15° 05' 06"E
C14	56.40	35.00	092°19'34"	50.49	S45° 22' 18"W
C15	419.26	830.00	028°56'31"	414.82	N77° 03' 50"E
C16	283.31	575.00	028°13'51"	280.46	N13° 17' 31"W
C17	55.41	35.00	090°42'41"	49.80	N46° 10' 45"E
C18	32.42	300.00	006°11'30"	32.40	S85° 22' 10"E
C19	32.42	300.00	006°11'30"	32.40	N85° 22' 10"W
C20	11.42	250.00	002°37'02"	11.42	S00° 19' 26"W
C21	476.36	295.00	092°31'11"	426.26	S45° 16' 30"W
C22	155.95	250.00	035°44'25"	153.43	N73° 39' 53"E
C23	37.39	57.00	037°35'14"	36.73	N24° 42' 01"W
C24	26.75	20.50	074°45'45"	24.89	S53° 52' 00"E
C25	87.50	57.50	087°11'25"	79.30	S03° 07' 58"W
C26	6.02	20.50	016°49'29"	6.00	S80° 20' 23"W
C27	20.52	325.00	003°37'01"	20.51	N89° 26' 22"W
C28	17.36	275.00	003°37'01"	17.36	N89° 26' 22"W
C29	23.52	475.00	002°50'15"	23.52	S89° 02' 59"E
C30	26.44	525.00	002°53'07"	26.43	N89° 04' 25"W
C31	6.45	10.00	036°58'24"	6.34	S84° 23' 43"W
C32	197.67	57.50	196°58'07"	113.74	S79° 23' 05"W
C33	14.23	10.00	081°33'24"	13.06	S42° 54' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C34	5.86	10.00	033°33'26"	5.77	N74° 45' 22"E
C35	91.30	50.00	104°37'28"	79.14	N69° 42' 37"W
C36	5.86	10.00	033°33'26"	5.77	S17° 25' 37"E
C37	5.31	10.00	030°26'20"	5.25	N16° 00' 39"W
C38	52.11	50.00	059°42'56"	49.78	S10° 30' 31"W
C39	6.46	10.00	036°59'16"	6.34	S69° 58' 17"E
C40	54.94	200.00	015°44'26"	54.77	N54° 43' 21"E
C41	54.94	200.00	015°44'26"	54.77	S54° 43' 21"W
C42	54.94	200.00	015°44'26"	54.77	N70° 27' 47"E
C43	54.94	200.00	015°44'26"	54.77	S70° 27' 47"W
C44	5.86	10.00	033°33'26"	5.77	S15° 57' 19"E
C45	44.29	50.00	050°44'52"	42.85	N43° 56' 11"E
C46	4.70	10.00	026°55'00"	4.65	S75° 00' 25"E
C47	29.72	275.00	006°11'30"	29.70	S85° 22' 10"E
C48	33.38	325.00	005°53'06"	33.37	N85° 12' 58"W
C49	1.74	325.00	000°18'24"	1.74	N88° 18' 43"W
C50	35.12	325.00	006°11'30"	35.10	S85° 22' 10"E
C51	19.08	275.00	003°58'28"	19.07	N84° 15' 39"W
C52	10.64	275.00	002°13'02"	10.64	N87° 21' 24"W
C53	13.15	20.50	036°44'50"	12.92	S16° 44' 29"E
C54	176.43	57.50	175°48'22"	114.92	S17° 42' 07"E
C55	15.17	20.50	042°24'46"	14.83	N48° 59' 41"E
C56	305.56	700.00	025°00'38"	303.14	N11° 53' 11"E
C57	20.94	20.00	060°00'00"	20.00	S61° 39' 12"E
C58	5.24	5.00	060°00'00"	5.00	S01° 39' 12"E
C59	20.94	20.00	060°00'00"	20.00	S58° 20' 48"W
C60	20.94	20.00	060°00'00"	20.00	N61° 39' 12"W
C61	5.24	5.00	060°00'00"	5.00	N01° 39' 12"W
C62	20.94	20.00	060°00'00"	20.00	N58° 20' 48"E
C63	5.45	2.00	156°14'49"	3.91	S27° 24' 26"E
C64	34.31	165.50	011°52'36"	34.24	S56° 39' 16"W
C65	34.31	165.50	011°52'36"	34.24	N68° 31' 52"E
C66	17.28	5.50	180°00'00"	11.00	N27° 24' 26"W

**GENERAL NOTES:**

- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
- ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
- BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
- LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
- LOTS ADJACENT TO FLOODPLAIN AND DETENTION AREAS SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF

144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN

TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183

**CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**

P2022-047

February 24, 2023

EXIST. ZONING: PD-71

LAND USE: SF

SHEET 4 OF 5

Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE





**LEGAL DESCRIPTION:  
65.309 ACRES**

BEING a tract of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas and being all of OAK CREEK, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 201, Plat Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Rockwall Property Corporation, as recorded in Volume 444, Page 146 and Volume 2002, Page 150, Deed Records, Rockwall County, Texas and being all of that tract of land described in Deed to Rockwall Property Corporation, as recorded in Volume 2051, Page 53, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of State Highway No. 66, a 60 foot right-of-way, for the common northwest corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northeast corner of that tract of land described in Deed to Rockwall Independent School District, as recorded in Volume 105, Page 153, Deed Records, Rockwall County, Texas;

THENCE North 88 degrees 29 minutes 03 seconds East, with said south line, a distance of 411.45 feet to a wood post found for the common northeast corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northwest corner of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150;

THENCE South 00 degrees 56 minutes 16 seconds East, leaving said south line and with the common west line of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150 and east line of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53, a distance of 705.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said common line, a distance of 503.69 feet to a point for corner;

THENCE South 69 degrees 21 minutes 48 seconds East, a distance of 40.60 feet to a point for corner;

THENCE South 25 degrees 06 minutes 25 seconds East, a distance of 64.89 feet to a point for corner;

THENCE South 31 degrees 25 minutes 37 seconds East, a distance of 51.80 feet to a point for corner;

THENCE South 09 degrees 09 minutes 13 seconds East, a distance of 55.61 feet to a point for corner;

THENCE South 16 degrees 55 minutes 05 seconds East, a distance of 49.61 feet to a point for corner;

THENCE South 03 degrees 11 minutes 20 seconds East, a distance of 109.33 feet to a point for corner;

THENCE South 04 degrees 27 minutes 24 seconds East, a distance of 60.49 feet to a point for corner;

THENCE South 16 degrees 19 minutes 49 seconds West, a distance of 39.76 feet to a point for corner;

THENCE South 08 degrees 12 minutes 45 seconds East, a distance of 48.89 feet to a point for corner;

THENCE South 64 degrees 09 minutes 47 seconds East, a distance of 66.87 feet to a point for corner;

THENCE South 47 degrees 50 minutes 45 seconds East, a distance of 73.04 feet to a point for corner;

THENCE South 42 degrees 29 minutes 55 seconds East, a distance of 44.81 feet to a point for corner;

THENCE North 85 degrees 31 minutes 53 seconds East, a distance of 53.72 feet to a point for corner;

THENCE South 25 degrees 10 minutes 09 seconds East, a distance of 84.31 feet to a point for corner;

THENCE South 42 degrees 22 minutes 14 seconds East, a distance of 59.42 feet to a point for corner;

THENCE South 47 degrees 09 minutes 28 seconds East, a distance of 72.07 feet to a point for corner;

THENCE South 02 degrees 46 minutes 29 seconds West, a distance of 57.76 feet to a point for corner;

THENCE South 31 degrees 26 minutes 15 seconds East, a distance of 71.66 feet to a point for corner;

THENCE South 18 degrees 53 minutes 46 seconds East, a distance of 88.10 feet to a point for corner;

THENCE South 11 degrees 41 minutes 53 seconds East, a distance of 110.02 feet to a point for corner;

THENCE South 53 degrees 25 minutes 21 seconds West, a distance of 34.88 feet to a point for corner;

THENCE South 20 degrees 12 minutes 22 seconds East, a distance of 44.84 feet to a point for corner;

THENCE South 79 degrees 08 minutes 23 seconds East, a distance of 90.02 feet to a point for corner;

THENCE South 56 degrees 28 minutes 11 seconds East, a distance of 62.92 feet to a point for corner;

THENCE South 87 degrees 49 minutes 07 seconds East, a distance of 28.55 feet to a point for corner;

THENCE South 05 degrees 58 minutes 08 seconds West, a distance of 28.02 feet to a point for corner;

THENCE South 10 degrees 07 minutes 55 seconds East, a distance of 46.33 feet to a point for corner;

THENCE South 10 degrees 56 minutes 13 seconds East, a distance of 88.76 feet to a point for corner;

THENCE South 42 degrees 32 minutes 37 seconds East, a distance of 66.83 feet to a point for corner;

THENCE South 05 degrees 48 minutes 00 seconds West, a distance of 37.66 feet to a point for corner;

THENCE South 27 degrees 06 minutes 51 seconds East, a distance of 115.84 feet to a point for corner;

THENCE South 36 degrees 05 minutes 07 seconds East, a distance of 93.26 feet to a point for corner;

THENCE South 09 degrees 53 minutes 27 seconds East, a distance of 144.51 feet to a point for corner in the common south line of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and north line of that tract of land described in Deed to Robert O. Dillender and wife, Sherry Dillender, as recorded in Volume 3356, Page 177, Deed Records, Rockwall County, Texas;

THENCE Westerly, with said south line, the following four (4) courses and distances:

North 89 degrees 15 minutes 43 seconds West, a distance of 1,002.42 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to F&F Holdings I, Ltd., as recorded in Document No. 2020000031089, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to D. Richard Devenney and wife, Diana Devenney, as recorded in Volume 165, Page 116, Deed Records, Rockwall County, Texas;

North 87 degrees 11 minutes 23 seconds West, a distance of 295.74 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an interior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 01 degrees 26 minutes 13 seconds West, a distance of 426.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common southwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an exterior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 88 degrees 33 minutes 07 seconds West, a distance of 724.98 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found in the north line of Washington Street, a variable width right-of-way, for the common southwest corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and southeast corner of that tract of land described in Deed to City of Rockwall, as recorded in Volume 2163, Page 96, Deed Records, Rockwall County, Texas;

THENCE Northerly, with the east line of said City of Rockwall tract, the following three (3) courses and distances:

North 24 degrees 23 minutes 30 seconds East, a distance of 884.48 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found at the beginning of a curve to the left having a central angle of 25 degrees 00 minutes 38 seconds, a radius of 700.00 feet and a chord bearing and distance of North 11 degrees 53 minutes 11 seconds East, 303.14 feet;

Northerly, with said curve to the left, an arc distance of 305.56 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found for corner;

North 00 degrees 37 minutes 07 seconds West, a distance of 201.44 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northeast corner of said City of Rockwall tract and an exterior ell corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146;

THENCE South 89 degrees 07 minutes 35 seconds West, a distance of 762.97 feet to a 3/8 inch iron rod found for the common northwest corner of said City of Rockwall tract and northeast corner of MUNICIPAL PARK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 49, Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 15 minutes 52 seconds West, with the north line of said MUNICIPAL PARK ADDITION, a distance of 297.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southwest corner of the above mentioned OAK CREEK Addition;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said north line and with the west line of said OAK CREEK Addition, a distance of 1,091.77 feet to a 1/2 inch iron rod found for corner;

THENCE North 01 degrees 18 minutes 48 seconds West, continuing with said west line, a distance of 759.30 feet to the POINT OF BEGINNING and containing 65.309 acres of land, more or less.

**OWNER'S CERTIFICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PARK HILLS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PARK HILLS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature \_\_\_\_\_  
Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ of QUALICO DEVELOPMENTS (U.S.), INC., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires

**SURVEYOR'S CERTIFICATE:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

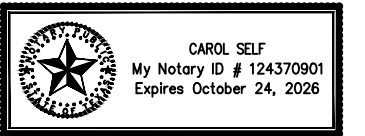
RYAN S. REYNOLDS, R.P.L.S.  
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary public for and in the State of Texas



My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairperson

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF  
144 SINGLE FAMILY LOTS AND  
12 OPEN SPACE LOTS  
SITUATED WITHIN

TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

P2022-047

March 16, 2023

EXIST. ZONING: PD-71

LAND USE: SF

SHEET 5 OF 5

**Owner/Applicant:**  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE





## Mapcheck 1: PARK HILLS

### Closure Summary

Precision, 1 part in: 2641627.87'  
Error distance: 0.00'  
Error direction: S77°10'07.69"E  
Area: 2844874.66 Sq. Ft.  
Square area: 2844874.66  
Perimeter: 10557.75'

### Point of Beginning

Easting: 2599223.78'  
Northing: 7029765.69'

### Side 1: Line

Direction: N88°29'03"E  
Angle: [-091.52 (d)]  
Deflection angle: [088.48 (d)]  
Distance: 411.45'  
Easting: 2599635.08'  
Northing: 7029776.57'

### Side 2: Line

Direction: S00°56'16"E  
Angle: [-089.42 (d)]  
Deflection angle: [090.58 (d)]  
Distance: 705.40'  
Easting: 2599646.63'  
Northing: 7029071.26'

### Side 3: Line

Direction: N59°30'28"E  
Angle: [060.45 (d)]  
Deflection angle: [-119.55 (d)]  
Distance: 503.69'  
Easting: 2600080.66'  
Northing: 7029326.85'

### Side 4: Line

Direction: S69°21'48"E  
Angle: [-128.87 (d)]  
Deflection angle: [051.13 (d)]  
Distance: 40.60'  
Easting: 2600118.65'  
Northing: 7029312.54'

### Side 5: Line

Direction: S25°06'25"E  
Angle: [-135.74 (d)]  
Deflection angle: [044.26 (d)]



Distance: 64.89'  
Easting: 2600146.19'  
Northing: 7029253.78'

Side 6: Line

Direction: S31°25'37"E  
Angle: [173.68 (d)]  
Deflection angle: [-006.32 (d)]  
Distance: 51.80'  
Easting: 2600173.20'  
Northing: 7029209.58'

Side 7: Line

Direction: S09°09'13"E  
Angle: [-157.73 (d)]  
Deflection angle: [022.27 (d)]  
Distance: 55.61'  
Easting: 2600182.04'  
Northing: 7029154.68'

Side 8: Line

Direction: S16°55'05"E  
Angle: [172.24 (d)]  
Deflection angle: [-007.76 (d)]  
Distance: 49.61'  
Easting: 2600196.48'  
Northing: 7029107.21'

Side 9: Line

Direction: S03°11'20"E  
Angle: [-166.27 (d)]  
Deflection angle: [013.73 (d)]  
Distance: 109.33'  
Easting: 2600202.56'  
Northing: 7028998.05'

Side 10: Line

Direction: S04°27'24"E  
Angle: [178.73 (d)]  
Deflection angle: [-001.27 (d)]  
Distance: 60.49'  
Easting: 2600207.26'  
Northing: 7028937.75'

Side 11: Line

Direction: S16°19'49"W  
Angle: [-159.21 (d)]  
Deflection angle: [020.79 (d)]  
Distance: 39.76'



Easting: 2600196.08'  
Northing: 7028899.59'

Side 12: Line

Direction: S08°12'45"E  
Angle: [155.46 (d)]  
Deflection angle: [-024.54 (d)]  
Distance: 48.89'  
Easting: 2600203.06'  
Northing: 7028851.20'

Side 13: Line

Direction: S64°09'47"E  
Angle: [124.05 (d)]  
Deflection angle: [-055.95 (d)]  
Distance: 66.87'  
Easting: 2600263.25'  
Northing: 7028822.06'

Side 14: Line

Direction: S47°50'45"E  
Angle: [-163.68 (d)]  
Deflection angle: [016.32 (d)]  
Distance: 73.04'  
Easting: 2600317.40'  
Northing: 7028773.04'

Side 15: Line

Direction: S42°29'55"E  
Angle: [-174.65 (d)]  
Deflection angle: [005.35 (d)]  
Distance: 44.81'  
Easting: 2600347.67'  
Northing: 7028740.00'

Side 16: Line

Direction: N85°31'53"E  
Angle: [128.03 (d)]  
Deflection angle: [-051.97 (d)]  
Distance: 53.72'  
Easting: 2600401.23'  
Northing: 7028744.19'

Side 17: Line

Direction: S25°10'09"E  
Angle: [-110.70 (d)]  
Deflection angle: [069.30 (d)]  
Distance: 84.31'  
Easting: 2600437.08'



Northing:          7028667.88'  
Side 18: Line  
    Direction:         S42°22'14"E  
    Angle:             [162.80 (d)]  
    Deflection angle:  [-017.20 (d)]  
    Distance:          59.42'  
    Easting:           2600477.13'  
    Northing:          7028623.98'

Side 19: Line  
    Direction:         S47°09'28"E  
    Angle:             [175.21 (d)]  
    Deflection angle:  [-004.79 (d)]  
    Distance:          72.07'  
    Easting:           2600529.97'  
    Northing:          7028574.98'

Side 20: Line  
    Direction:         S02°46'29"W  
    Angle:             [-130.07 (d)]  
    Deflection angle:  [049.93 (d)]  
    Distance:          57.76'  
    Easting:           2600527.18'  
    Northing:          7028517.28'

Side 21: Line  
    Direction:         S31°26'15"E  
    Angle:             [145.79 (d)]  
    Deflection angle:  [-034.21 (d)]  
    Distance:          71.66'  
    Easting:           2600564.55'  
    Northing:          7028456.14'

Side 22: Line  
    Direction:         S18°53'46"E  
    Angle:             [-167.46 (d)]  
    Deflection angle:  [012.54 (d)]  
    Distance:          88.10'  
    Easting:           2600593.08'  
    Northing:          7028372.79'

Side 23: Line  
    Direction:         S11°41'53"E  
    Angle:             [-172.80 (d)]  
    Deflection angle:  [007.20 (d)]  
    Distance:          110.02'  
    Easting:           2600615.39'  
    Northing:          7028265.06'



Side 24: Line

Direction: S53°25'21"W  
Angle: [-114.88 (d)]  
Deflection angle: [065.12 (d)]  
Distance: 34.88'  
Easting: 2600587.38'  
Northing: 7028244.27'

Side 25: Line

Direction: S20°12'22"E  
Angle: [106.37 (d)]  
Deflection angle: [-073.63 (d)]  
Distance: 44.84'  
Easting: 2600602.87'  
Northing: 7028202.19'

Side 26: Line

Direction: S79°08'23"E  
Angle: [121.07 (d)]  
Deflection angle: [-058.93 (d)]  
Distance: 90.02'  
Easting: 2600691.27'  
Northing: 7028185.23'

Side 27: Line

Direction: S56°28'11"E  
Angle: [-157.33 (d)]  
Deflection angle: [022.67 (d)]  
Distance: 62.92'  
Easting: 2600743.72'  
Northing: 7028150.47'

Side 28: Line

Direction: S87°49'07"E  
Angle: [148.65 (d)]  
Deflection angle: [-031.35 (d)]  
Distance: 28.55'  
Easting: 2600772.25'  
Northing: 7028149.39'

Side 29: Line

Direction: S05°58'08"W  
Angle: [-086.21 (d)]  
Deflection angle: [093.79 (d)]  
Distance: 28.02'  
Easting: 2600769.34'  
Northing: 7028121.52'

Side 30: Line



Direction: S10°07'55"E  
Angle: [163.90 (d)]  
Deflection angle: [-016.10 (d)]  
Distance: 46.33'  
Easting: 2600777.49'  
Northing: 7028075.91'

Side 31: Line

Direction: S10°56'13"E  
Angle: [179.20 (d)]  
Deflection angle: [-000.80 (d)]  
Distance: 88.76'  
Easting: 2600794.33'  
Northing: 7027988.76'

Side 32: Line

Direction: S42°32'37"E  
Angle: [148.39 (d)]  
Deflection angle: [-031.61 (d)]  
Distance: 66.83'  
Easting: 2600839.52'  
Northing: 7027939.52'

Side 33: Line

Direction: S05°48'00"W  
Angle: [-131.66 (d)]  
Deflection angle: [048.34 (d)]  
Distance: 37.66'  
Easting: 2600835.71'  
Northing: 7027902.06'

Side 34: Line

Direction: S27°06'51"E  
Angle: [147.09 (d)]  
Deflection angle: [-032.91 (d)]  
Distance: 115.84'  
Easting: 2600888.51'  
Northing: 7027798.95'

Side 35: Line

Direction: S36°05'07"E  
Angle: [171.03 (d)]  
Deflection angle: [-008.97 (d)]  
Distance: 93.26'  
Easting: 2600943.44'  
Northing: 7027723.58'

Side 36: Line

Direction: S09°53'27"E



Angle: [-153.81 (d)]  
Deflection angle: [026.19 (d)]  
Distance: 144.51'  
Easting: 2600968.26'  
Northing: 7027581.22'

Side 37: Line

Direction: N89°15'43"W  
Angle: [-079.37 (d)]  
Deflection angle: [100.63 (d)]  
Distance: 1002.42'  
Easting: 2599965.92'  
Northing: 7027594.13'

Side 38: Line

Direction: N87°11'23"W  
Angle: [-177.93 (d)]  
Deflection angle: [002.07 (d)]  
Distance: 295.74'  
Easting: 2599670.54'  
Northing: 7027608.63'

Side 39: Line

Direction: S01°26'13"W  
Angle: [088.63 (d)]  
Deflection angle: [-091.37 (d)]  
Distance: 426.00'  
Easting: 2599659.86'  
Northing: 7027182.77'

Side 40: Line

Direction: S88°33'07"W  
Angle: [-092.88 (d)]  
Deflection angle: [087.12 (d)]  
Distance: 724.98'  
Easting: 2598935.11'  
Northing: 7027164.44'

Side 41: Line

Direction: N24°23'30"E  
Angle: [-064.16 (d)]  
Deflection angle: [115.84 (d)]  
Distance: 884.48'  
Easting: 2599300.37'  
Northing: 7027969.98'

Side 42: Curve

Curve direction: Counter-clockwise  
Radius: [700.00']



Arc length: 305.56'  
Delta angle: 025.01 (d)  
Tangent: [155.25']  
Chord direction: N11°53'11"E  
Chord angle: [167.49 (d)]  
Deflection angle: [-012.51 (d)]  
Chord distance: 303.14'  
Easting: 2599362.81'  
Northing: 7028266.62'

Side 43: Line

Direction: N00°37'07"W  
Angle: [-180.00 (d)]  
Deflection angle: [000.00 (d)]  
Distance: 201.44'  
Easting: 2599360.64'  
Northing: 7028468.05'

Side 44: Line

Direction: S89°07'35"W  
Angle: [089.74 (d)]  
Deflection angle: [-090.26 (d)]  
Distance: 762.97'  
Easting: 2598597.75'  
Northing: 7028456.41'

Side 45: Line

Direction: S89°15'52"W  
Angle: [-179.86 (d)]  
Deflection angle: [000.14 (d)]  
Distance: 297.37'  
Easting: 2598300.41'  
Northing: 7028452.60'

Side 46: Line

Direction: N59°30'28"E  
Angle: [-029.76 (d)]  
Deflection angle: [150.24 (d)]  
Distance: 1091.77'  
Easting: 2599241.19'  
Northing: 7029006.58'

Side 47: Line

Direction: N01°18'48"W  
Angle: [119.18 (d)]  
Deflection angle: [-060.82 (d)]  
Distance: 759.30'  
Easting: 2599223.78'



Northing: 7029765.69'



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-013  
PROJECT NAME: Site Plan for Alkaios Transportation  
SITE ADDRESS/LOCATIONS: 1209 N GOLIAD ST

CASE CAPTION: Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-013; Site Plan for an Office at 1209 N. Goliad

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2023-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development District 69 (PD-69) Standards, the Residential Office (RO) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. The site will need to be platted after site plan approval to establish new easements.
2. Two (2) more accent trees are required along the frontage of SH-205. (Subsection 06.02.E, of Article 05, of UDC)
3. The landscape plan provided does not provide indication of trees being removed. Please provide indication of which trees are being removed and the tree mitigation required. (Section 5, of Article 09, UDC)

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on May 2, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff



ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - Show barricade and "Dead End" signage.
- 20' min radius
  - Grate inlets not allowed.
  - Face of curb.
  - Fire hydrant may be required on site at time of this building construction.

The following items are informational for the engineering design process.

- All parking is 20'x9'
- No dead end parking without 64'x15' hammerhead (no parking) or cul-de-sac turn around
- All dumpsters to have an oil/water separator draining to storm system.
- No structures in easements
- No landscaping within 10' of 10" and larger diameter utility lines and 5' of utility lines less than 10" in diameter.
- Engineering review fees
- Impact fees
- Engineering Inspection fees
- Retaining walls 3' and over must be engineered
- All retaining walls to be rock or stone face. No smooth concrete walls.
- Minimum easement width is 20'. No structures in easements.
- Must meet all of the City's Engineering Standards of Design and Construction.
- Need to show prop. and ex. utilities and approved flood plain
- TXDOT permitting required for work within Goliad ROW.
- Detention is required for new impervious area and future area of expansion as shown on landscape plan
- ROW dedication along N. Goliad may be required depending on actual ROW width.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Needs Review

04/17/2023: Show the location of the existing/proposed fire hydrant for coverage of the new addition to the garage.

Note: A complete fire lane, including the required minimum width of 24 feet and an approved turn-around when extended to more than 150 feet in length, shall be provided before any future additions to the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved



No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

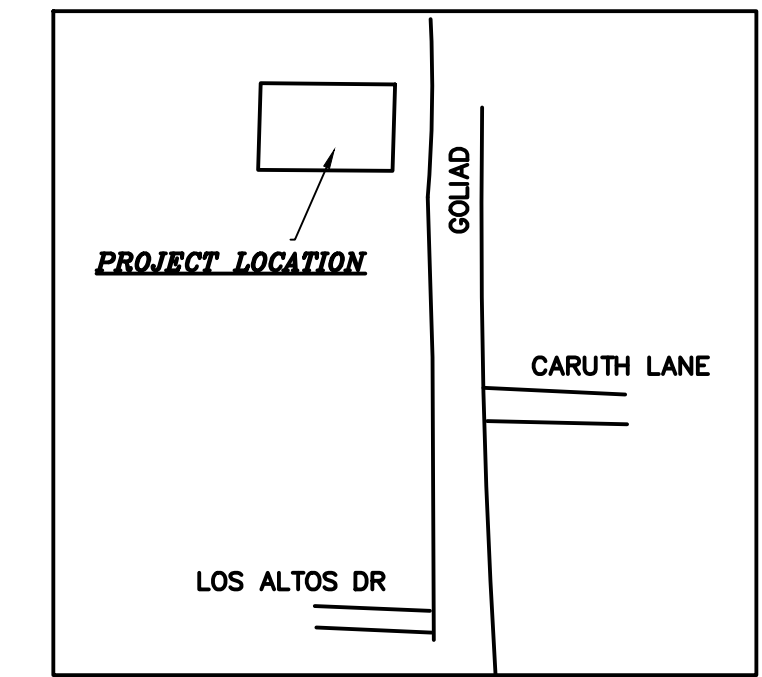
04/17/2023: Please provide tree mitigation plan and landscape plan



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



1209 N. GOLIAD  
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124  
AND TEH S.S. McCURRY SURVEY, ABSTRACT No. 146  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

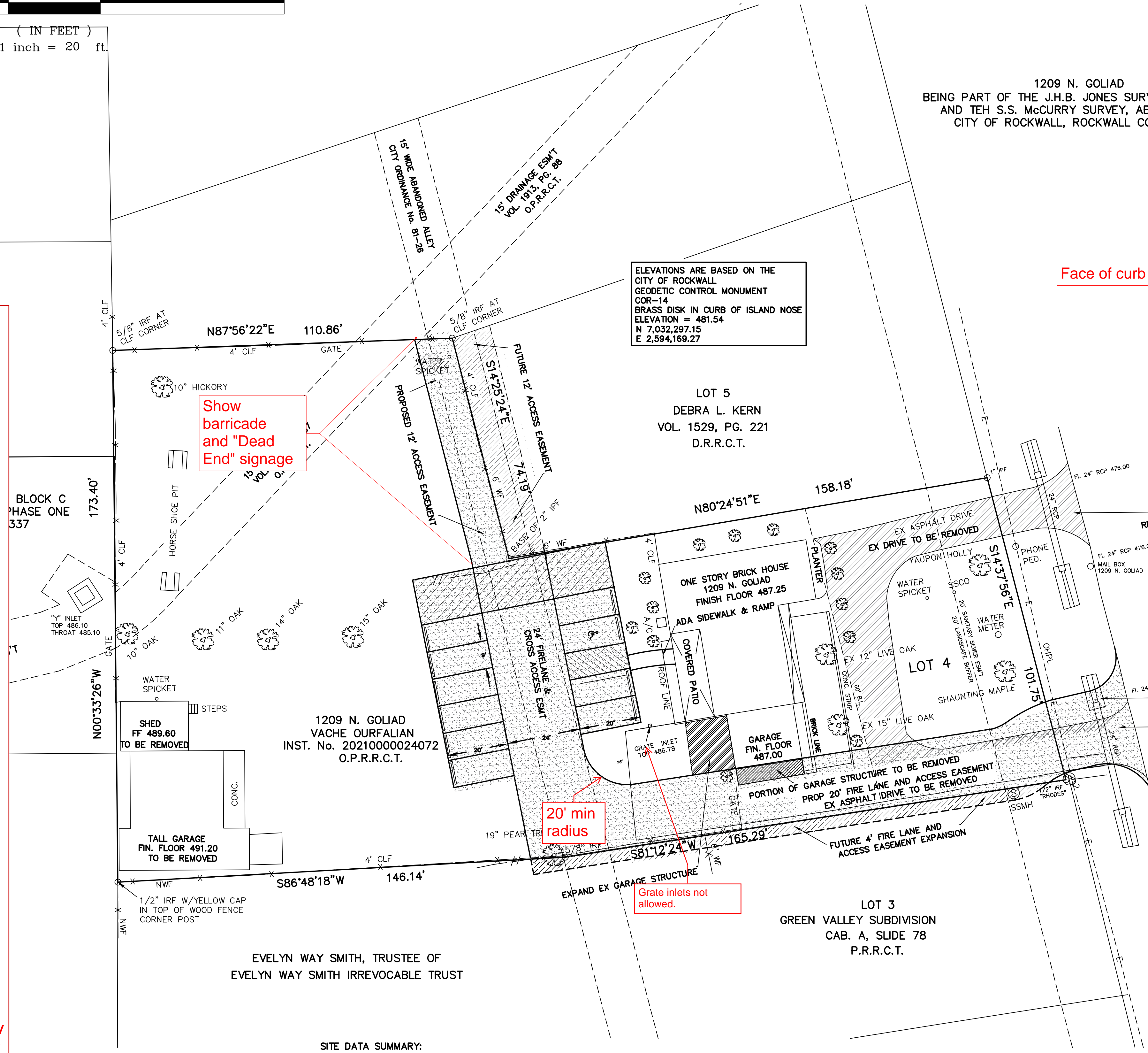
ELEVATIONS ARE BASED ON THE  
CITY OF ROCKWALL  
GEODETIC CONTROL MONUMENT  
COR-14  
BRASS DISK IN CURB OF ISLAND NOSE  
ELEVATION = 481.54  
N 7,032,297.15  
E 2,594,169.27

Face of curb

NOTE:  
DIMENSIONS ARE TO BACK  
OF CURB OR EDGE OF PAVEMENT

STORMWATER DETENTION TO BE CONTAINED  
WITHIN PROPOSED PARKING IN REAR  
OF LOT 1209 N. GOLIAD

- All parking is 20'x9'
- No dead end parking without 64'x15' hammerhead (no parking) or cul-de-sac turn around
- All dumpsters to have an oil/water separator draining to storm system.
- No structures in easements
- No landscaping within 10' of 10" and larger diameter utility lines and 5' of utility lines less than 10" in diameter.
- Engineering review fees
- Impact fees
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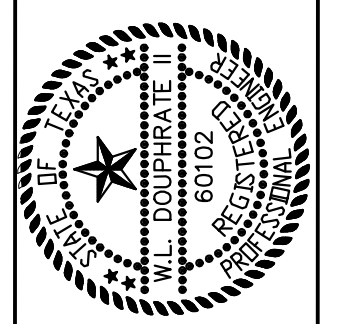


SITE DATA SUMMARY:  
NAME OF FINAL PLAT: GREEN VALLEY SUBD LOT 4  
ZONING: RO (RESIDENTIAL OFFICE DISTRICT)  
PROPOSED USE: BUSINESS OFFICE  
EXIST BUILDING SQUARE FOOTAGE: 1209 GOLIAD-2324 SF  
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE: NONE  
TOTAL LOT AREA : 1209 N GOLIAD 21,780 SF = 0.88 ACRES  
BUILDING HEIGHT: 28 FT  
LOT BLDG COVERAGE: 1209 GOLIAD 10.7%  
PARKING SPACES REQUIRED 1209: 1 SPACE/300 SF= 8 SPACES  
HANDICAP PARKING REQUIRED: 1 EA  
TOTAL PARKING SPACES PROVIDED: 1209 GOLIAD 10 SPACES  
HANDICAP PARKING PROVIDED: 1EA  
INTERIOR LANDSCAPING REQUIRED: 20%  
INTERIOR LANDSCAPING PROVIDED: 20% 7,000 SF  
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE ( BLDGS + PARKING/FIRE LANE )=10,769 SF

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN  
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED  
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER  
ALKAIOS TRANSPORTATION  
1209 N. GOLIAD ST.  
ROCKWALL, TX 75087  
469-424-3234

- SCREENED WITH 3-5 GAL
- A MIXTURE OF 3-7
- ONE TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF
- LIGUSTRUM BUSHES
- 4. LANDSCAPE EACH BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
- 5. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
- 6. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
- 7. 2 ACCENT TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER ON EACH LOT
- A TOTAL OF 1-SHAUNTING MAPLE & 1- YAUPON HOLLY



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ALL APPROPRIATE TEXAS P.E. BOARDS ON MARCH 23, 2023 DATE: MARCH 23, 2023

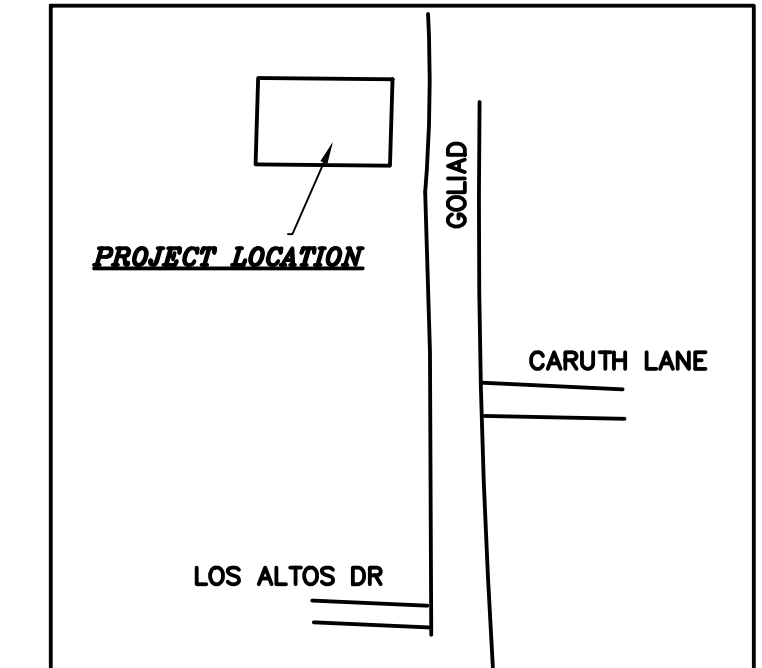
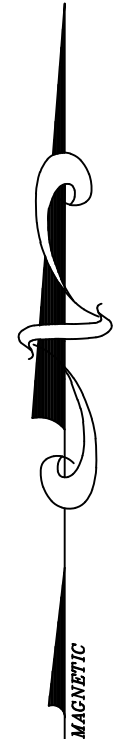
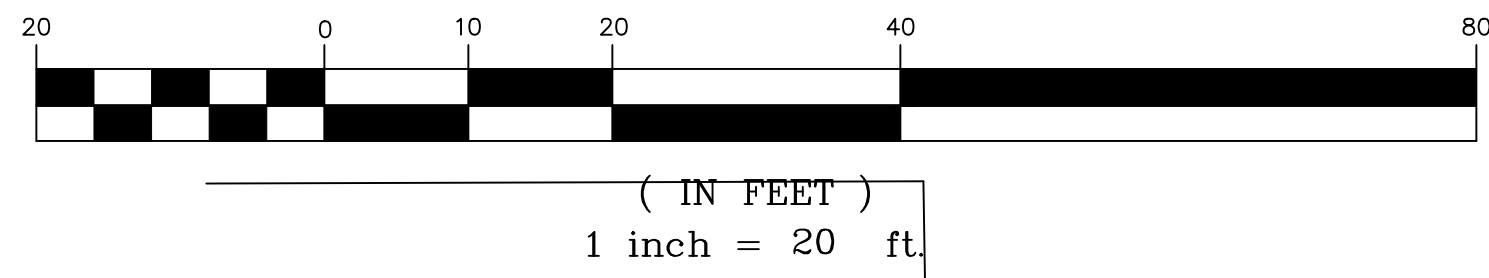
DOUPHRAITE & ASSOCIATES, INC.  
ENGINEERING PROJECT MANAGEMENT SURVEYING  
2266 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9006

SITE & LANDSCAPING PLAN  
ALKAIOS TRANSPORTATION  
1209 N. GOLIAD STREET ROCKWALL TEXAS 75087  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	23012 SITE PL
	10



GRAPHIC SCALE

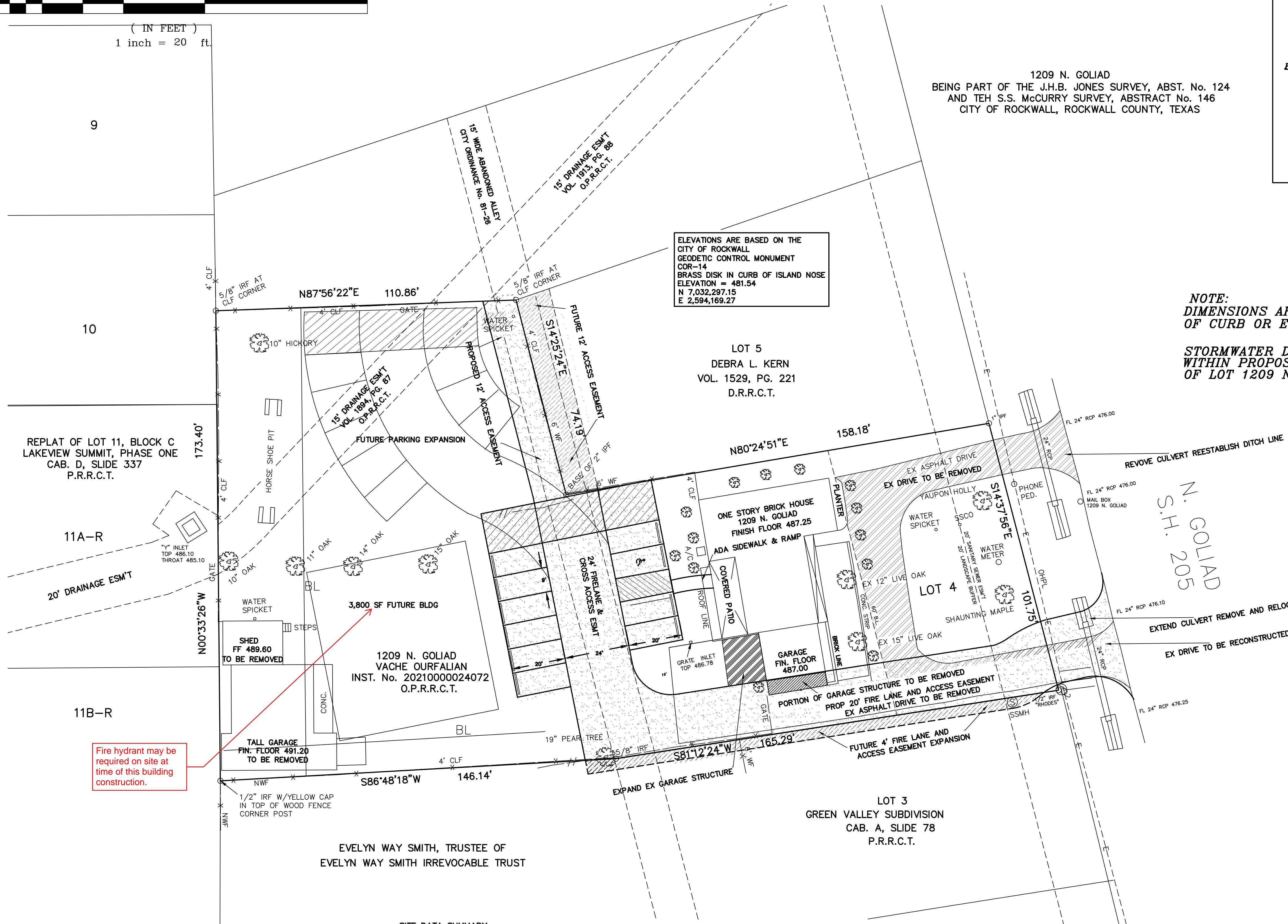


1209 N. GOLIAD  
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124  
AND TEH S.S. McCURRY SURVEY, ABSTRACT No. 146  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ELEVATIONS ARE BASED ON THE  
CITY OF ROCKWALL  
GEODETIC CONTROL MONUMENT  
COR-14  
BRASS DISK IN CURB OF ISLAND NOSE  
ELEVATION = 481.54  
N 7,032,297.15  
E 2,594,169.27

NOTE:  
DIMENSIONS ARE TO BACK  
OF CURB OR EDGE OF PAVEMENT

STORMWATER DETENTION TO BE CONTAINED  
WITHIN PROPOSED PARKING IN REAR  
OF LOT 1209 N. GOLIAD



NOTES:

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2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
3. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
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7. 2 ACCENT TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER ON EACH LOT  
A TOTAL OF 1-SHAUNTING MAPLE & 1- YAUPON HOLLY

SITE DATA SUMMARY:  
NAME OF FINAL PLAT: GREEN VALLEY SUBD LOT 4  
ZONING: RO (RESIDENTIAL OFFICE DISTRICT)  
PROPOSED USE: BUSINESS OFFICE  
EXIST BUILDING SQUARE FOOTAGE: 1209 GOLIAD-2324 SF  
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE: NONE  
TOTAL LOT AREA : 1209 N GOLIAD 21,780 SF = 0.88 ACRES  
BUILDING HEIGHT: 28 FT  
LOT BLDG COVERAGE: 1209 GOLIAD 10.7%  
PARKING SPACES REQUIRED 1209: 1 SPACE/300 SF = 8 SPACES  
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ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER  
ALKAIOS TRANSPORTATION  
1209 N. GOLIAD ST.  
ROCKWALL, TX 75087  
469-424-3234



THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
THE BOARD OF ENGINEERING  
EXAMINERS OF THE STATE OF TEXAS P.E.  
NO. 60102 F-1564  
DATE: MARCH 23, 2023

DOUPBRATE & ASSOCIATES, INC.  
ENGINEERING PROJECT MANAGEMENT SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

SITE & LANDSCAPING PLAN  
ALKAIOS TRANSPORTATION  
1209 N. GOLIAD STREET ROCKWALL, TEXAS 75087  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
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# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2023-013**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1209 N. Goliad

SUBDIVISION JNB Jones Surrey Abst 146 <sup>124</sup> McMurry Surrey <sup>Abst. 146</sup> LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RO CURRENT USE OFFICE

PROPOSED ZONING RO PROPOSED USE OFFICE

ACREAGE .88 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Yache Ourfalian</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Doughrate Assoc., Inc.</u>
CONTACT PERSON		CONTACT PERSON	<u>Dub Doughrate</u>
ADDRESS	<u>1209 N. Goliad</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>469.424.3234</u>	PHONE	<u>972.742.2210</u>
E-MAIL	<u>yache.ourfalian@gmail.com</u>	E-MAIL	<u>wldoughrate@doughrate.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Yache Ourfalian [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 207.100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL 2023

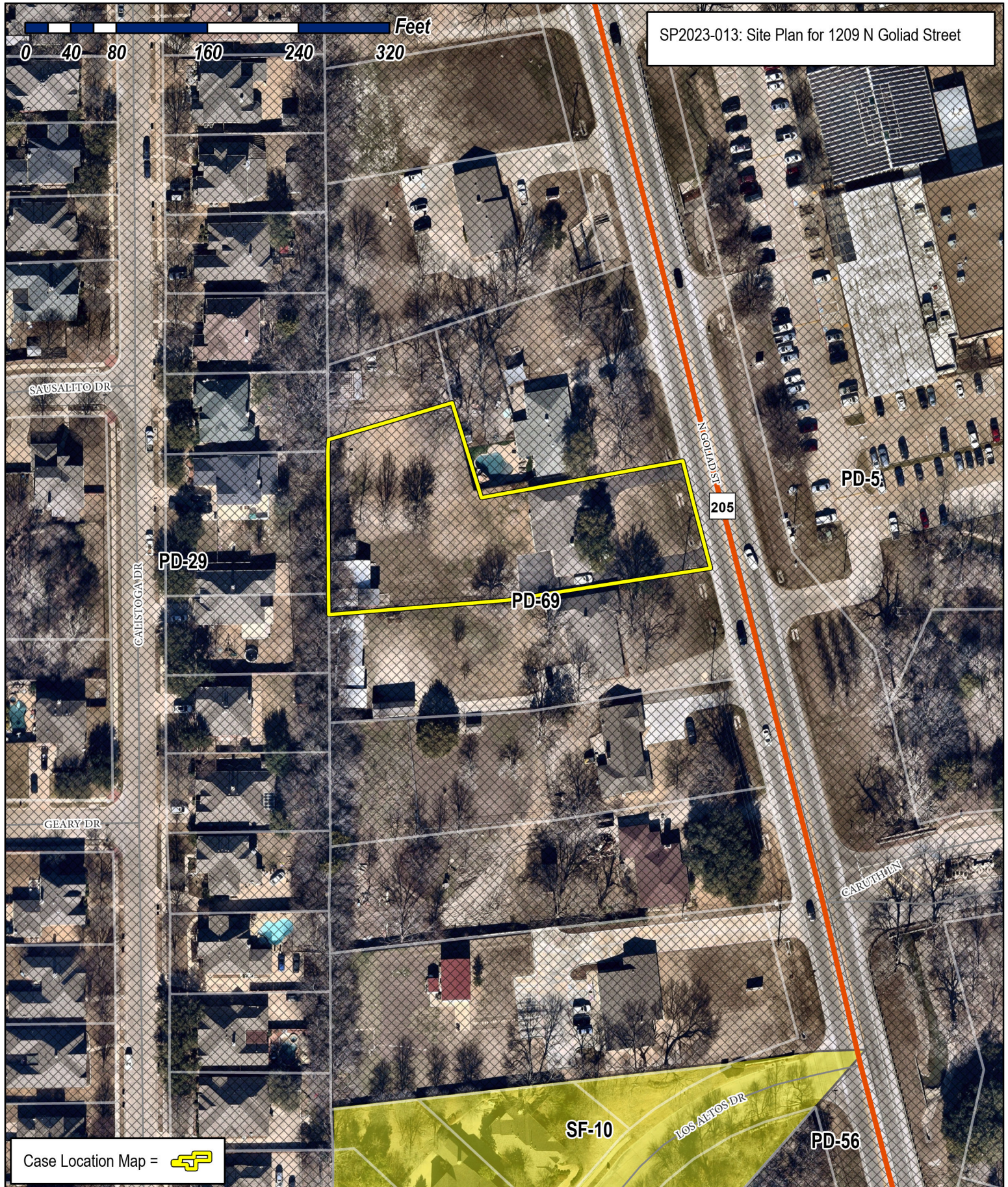
OWNER'S SIGNATURE [Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 01-23-2024





Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

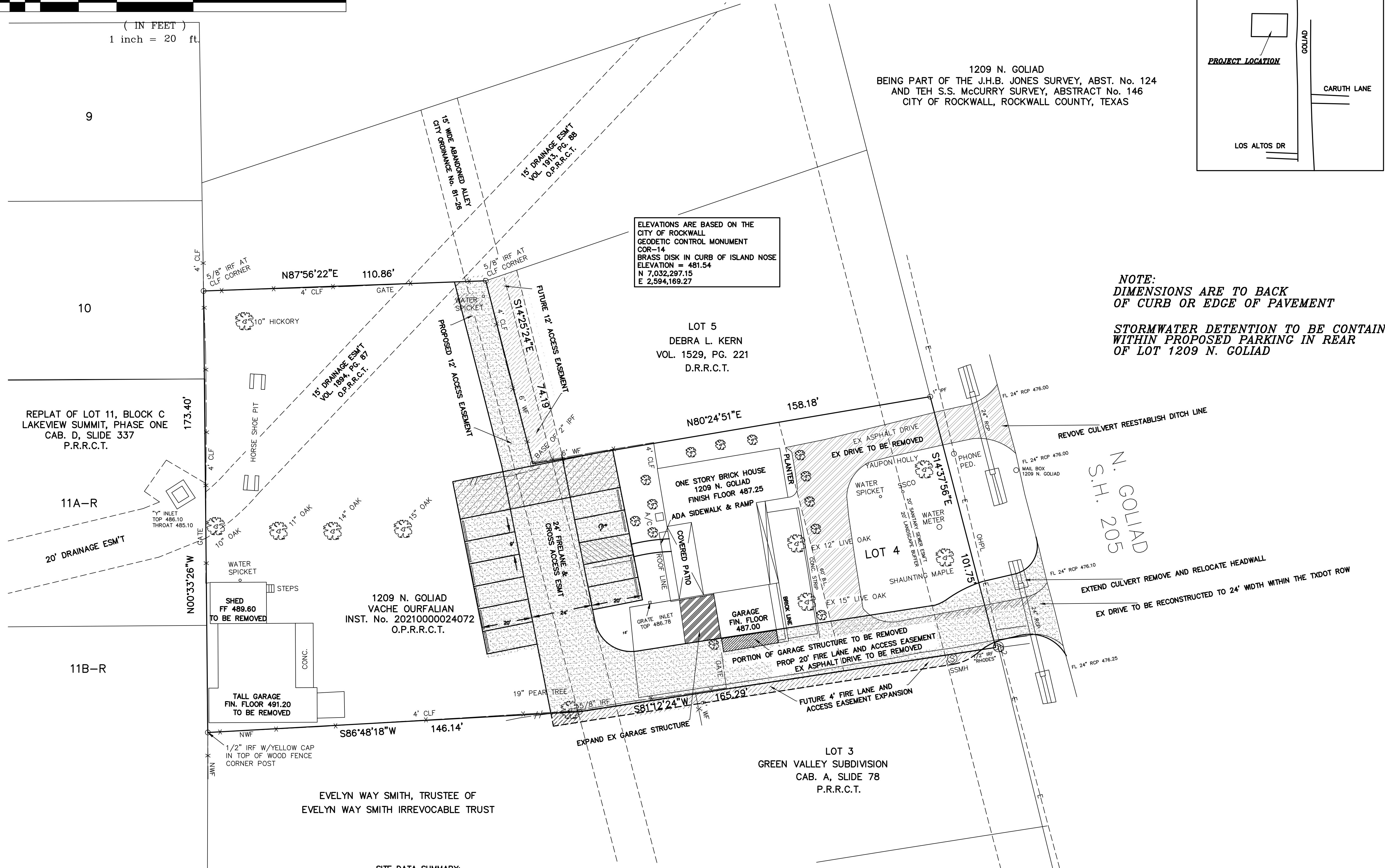




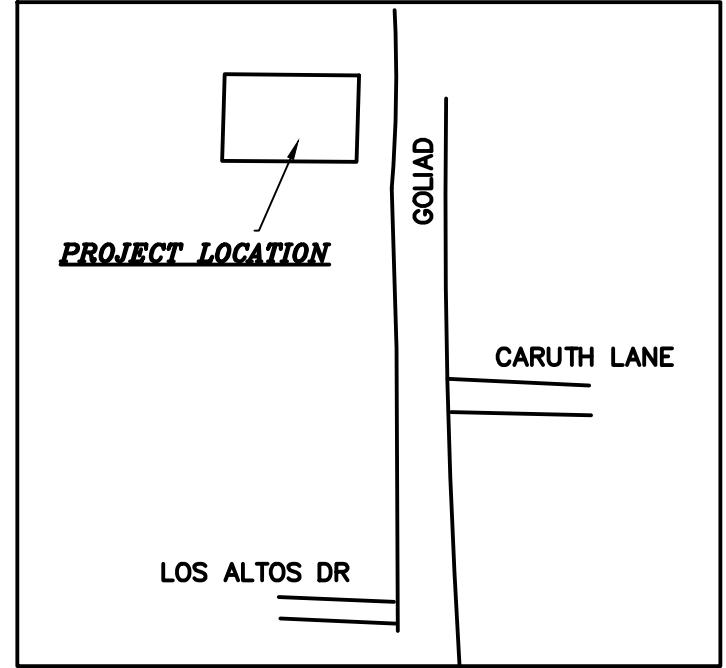
GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



1209 N. GOLIAD  
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REPLAT OF LOT 11, BLOCK C  
LAKEVIEW SUMMIT, PHASE ONE  
CAB. D, SLIDE 337  
P.R.R.C.T.

1209 N. GOLIAD  
VACHE OURFALIAN  
INST. No. 20210000024072  
O.P.R.R.C.T.

LOT 5  
DEBRA L. KERN  
VOL. 1529, PG. 221  
D.R.R.C.T.

ONE STORY BRICK HOUSE  
1209 N. GOLIAD  
FINISH FLOOR 487.25

LOT 3  
GREEN VALLEY SUBDIVISION  
CAB. A, SLIDE 78  
P.R.R.C.T.

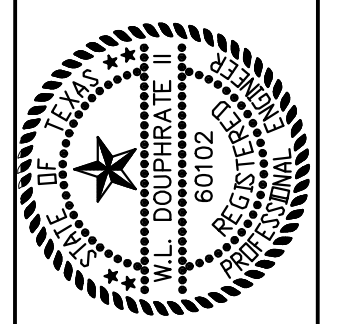
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OWNER  
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1209 N. GOLIAD ST.  
ROCKWALL, TX 75087  
469-424-3234



THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
ALL GOVERNORS OF TEXAS P.E.  
NO. 80102  
DATE: MARCH 23, 2023

DOUPHRAITE & ASSOCIATES, INC.  
ENGINEERING PROJECT MANAGEMENT SURVEYING  
2266 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9006

SITE & LANDSCAPING PLAN  
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CITY OF ROCKWALL  
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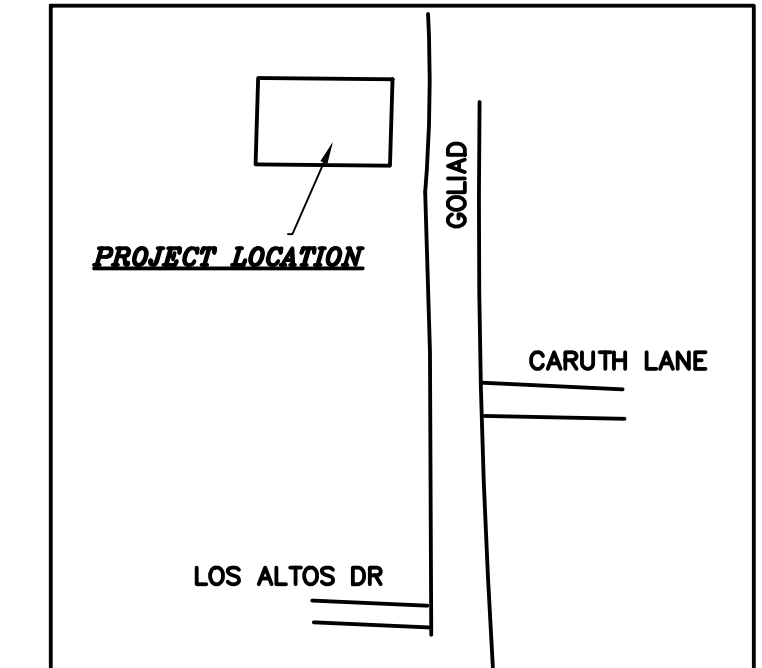
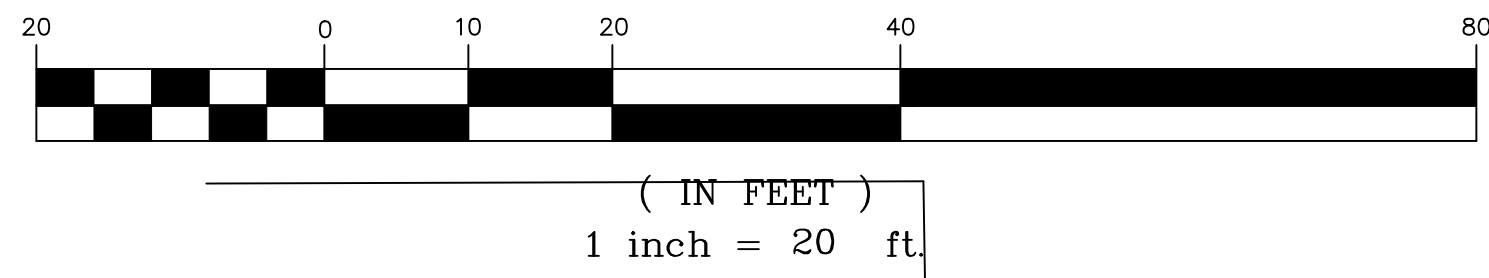
REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	2302 SITE PL
	10







GRAPHIC SCALE



1209 N. GOLIAD  
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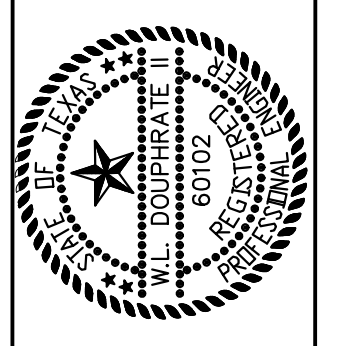
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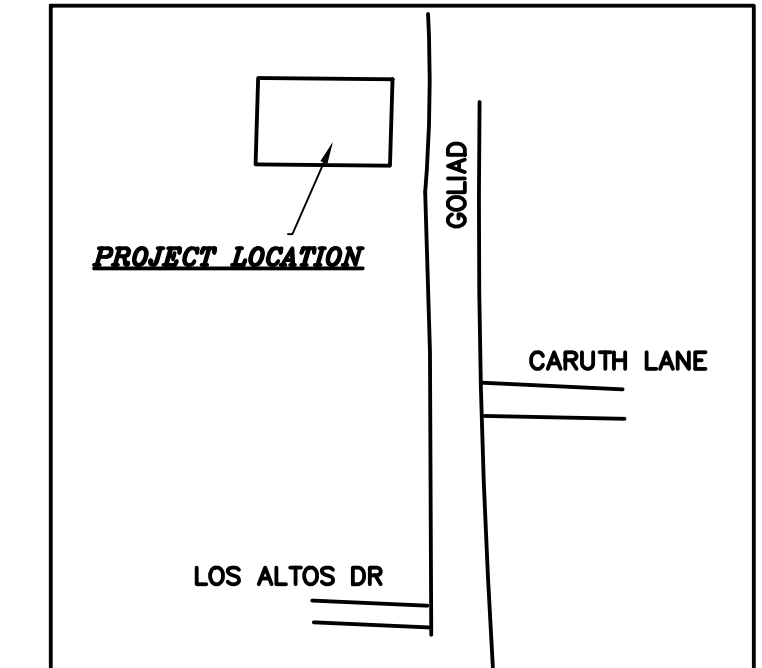
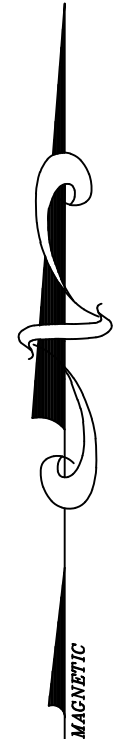
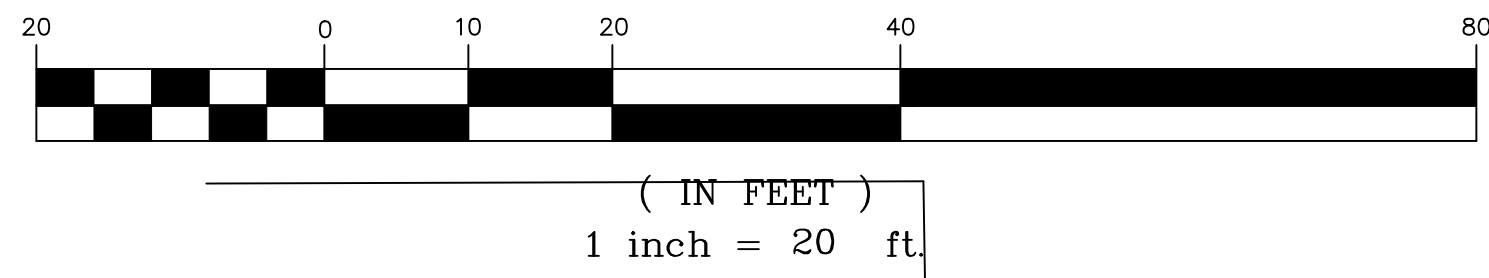
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SITE & LANDSCAPING PLAN  
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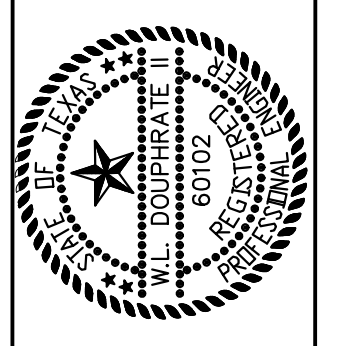
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# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-014  
PROJECT NAME: Amended Site Plan for 108 St. Marys  
SITE ADDRESS/LOCATIONS: 108 ST MARYS ST

CASE CAPTION: Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-014; Amended Site Plan for 108 St. Mary's Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2023-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Residential Office (RO) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. The site will need to be platted after site plan approval to establish new easements.
2. Please check Vicinity map. The subject property should be located on the south side of St. Mary's Street not the north side. (Subsection 03.04.A, of Article 11, of the UDC)

M.6 Landscape Plan:

1. One (1) canopy tree and one (1) accent tree is required in the landscape buffer along St. Mary's Street. (Subsection 05.01(B), of Article 05, of the UDC)
2. Canopy trees shall be a minimum of four (4) inch caliper. The Landscape plan currently shows a three (3) inch caliper canopy tree in front. (Subsection 07.01, of Article 09, of the UDC)
3. All parking spaces shall be within 80' of a canopy tree. (Subsection 05.03.E, Article 08, UDC)
4. Provide four (4)-inch canopy trees 20' foot on center and 24" shrubs planted on 36" centers along the east side of the property for residential adjacency screening. (Subsection 05.02.B, of Article 08, of the UDC)
5. Delineate a rough boundary of detention area and provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08, UDC)



6. Provide shrub screening around the A/C units on the west side of the property. (Subsection 01.05.C, of Article 05, of the UDC)
7. Indicate the type and size of every existing and proposed landscape items. (Subsection 05.03.B, of Article 08, of the UDC)
8. The landscape plan provided does not provide indication of trees being removed. Please provide indication of which trees are being removed and the tree mitigation required. (Section 5, of Article 09, of the UDC)

I.7 Please note that failure to address all comments provided by staff by 3:00 PM on April 4, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - 10' utility easement to be dedicated  
 - Must have a 15x24' turnaround striped and signed as no parking.

The following items are informational for the engineering design process.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking, without approved turn around area.
- Driveway spacing must be labeled on Site Plan.
- Must have detention for added impervious area. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.
- Will need fire hydrant installed at corner of Barnes and St. Marys
- Add note: No dumpster will be used.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments



04/17/2023: Note: A fire lane is not required unless an addition/expansion of the existing building is done or a new building is added to the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

No Comments

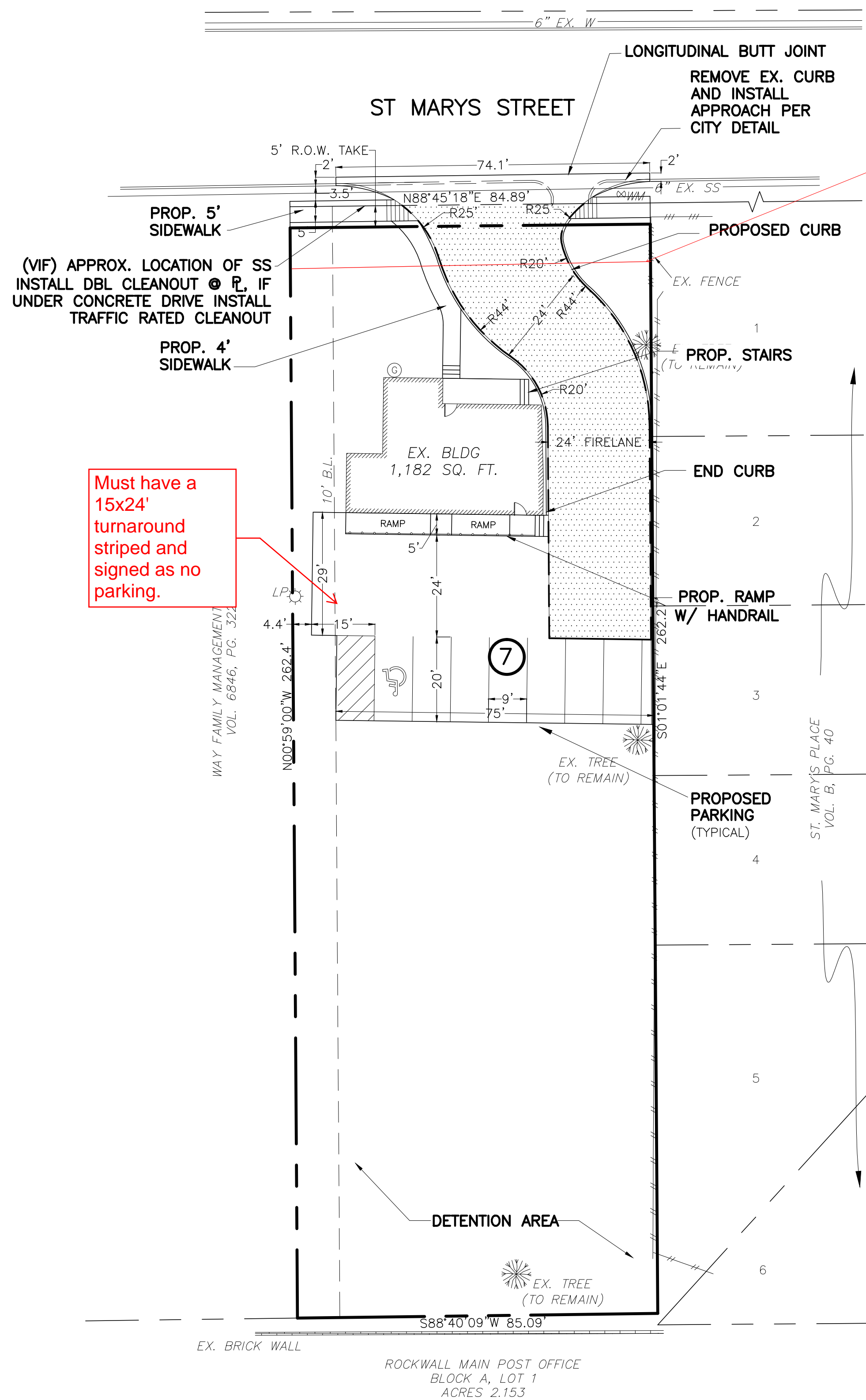
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

No Comments





10' utility easement to be dedicated

Must have a 15x24' turnaround striped and signed as no parking.

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**SITE DATA:**

**LOT AREA:**  
0.51 Acres, 22,278.6 Sq. Ft.  
**EX. BUILDING AREA:**  
1,182 sq.ft.  
**PROPOSED USE:**  
Office  
**IMPERVIOUS AREA (including buildings):**  
7,315 sq.ft.  
**PARKING:**  
Required: (1 space/300) = 4  
Provided: 6  
Standard = 6  
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Required: (10%) 2,228 sq.ft.  
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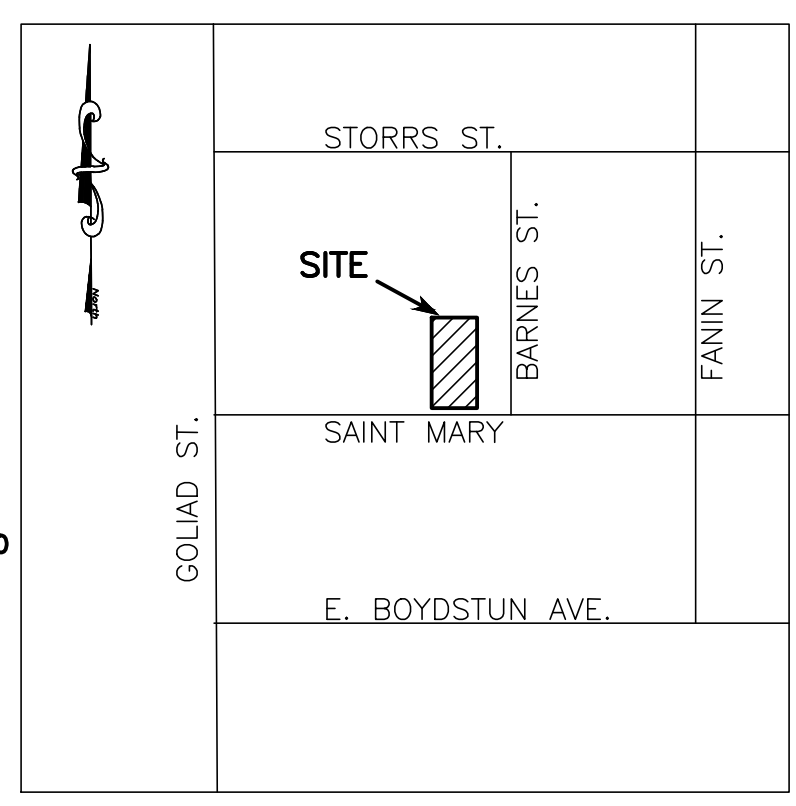
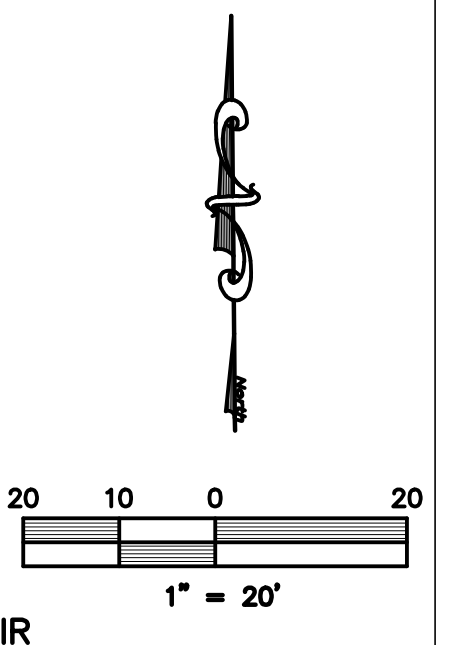
**NOTES:**

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- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

**PAVING NOTES:**

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

!!!! CAUTION !!!!  
CALL 811 TO LOCATE  
UNDERGROUND LINES  
48 HRS PRIOR TO CONSTRUCTION



LOCATION MAP (NOT TO SCALE)

**LEGEND**

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- 460--- = PROPOSED CONTOURS
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- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ FH = PROPOSED FIRE HYDRANT

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



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**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**CASE #: SP**  
**SITE PLAN**  
**108 SAINT MARY STREET**  
City of Rockwall, Rockwall County, Texas 75087

---

OWNER  
**Reborn Skin & Beauty**  
6705 Heritage Pkwy, Ste. 104  
Rockwall, TX 75087

prepared by  
**MONK CONSULTING ENGINEERS, INC.**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

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REG NO.: F-2567  
2023 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: **C101**





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

*2023-009*

NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *108 Saint Mary St.*

SUBDIVISION *BP Boydston Addition*

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *R-0*

CURRENT USE *vacant*

PROPOSED ZONING *R-0*

PROPOSED USE *medical office*

ACREAGE *0.51*

LOTS [CURRENT]

*1*

LOTS [PROPOSED]

*1*

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Ashley Egan*

APPLICANT *same*

CONTACT PERSON *Justine Jones*

CONTACT PERSON

ADDRESS *109 Saint Mary St.*

ADDRESS

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP

PHONE *(509) 630-1392*

PHONE

E-MAIL *justine@rebornskinandbeauty.com*

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE



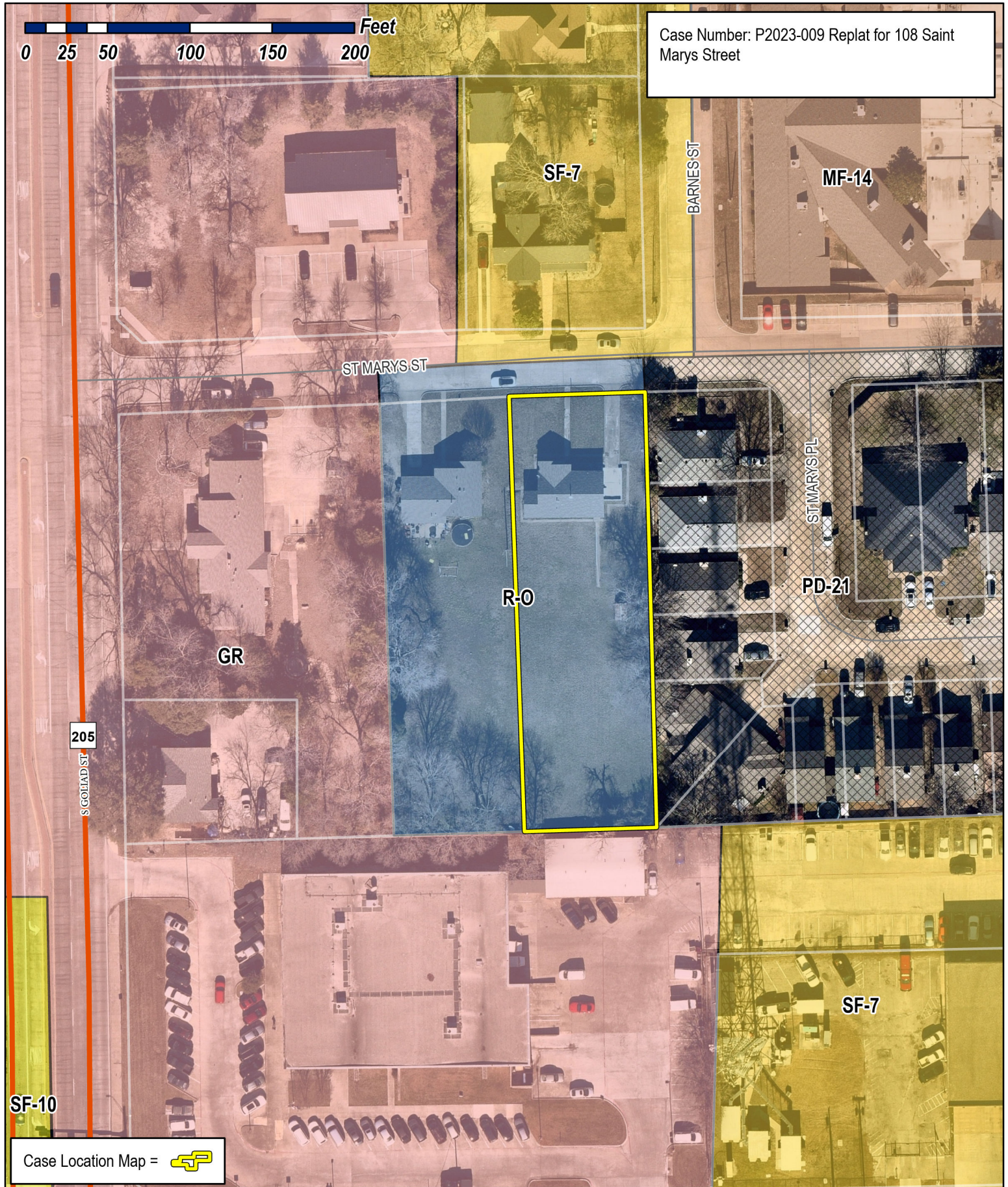
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES





Case Number: P2023-009 Replat for 108 Saint Marys Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Justine Jones & Ashley Egan  
109 Saint Mary St.  
Rockwall, TX 75087  
[justine@rebornskinandbeauty.com](mailto:justine@rebornskinandbeauty.com)

April 5, 2023

Ryan Miller  
Director of Planning & Zoning  
City of Rockwall  
385 S. Goliad St.  
Rockwall, TX 75087

Dear Ryan, et al.

This letter is intended to supplement our Developmental Application for the lot and plat at 108 Saint Mary St. in Rockwall, TX. Our application is for an Amended Plat.

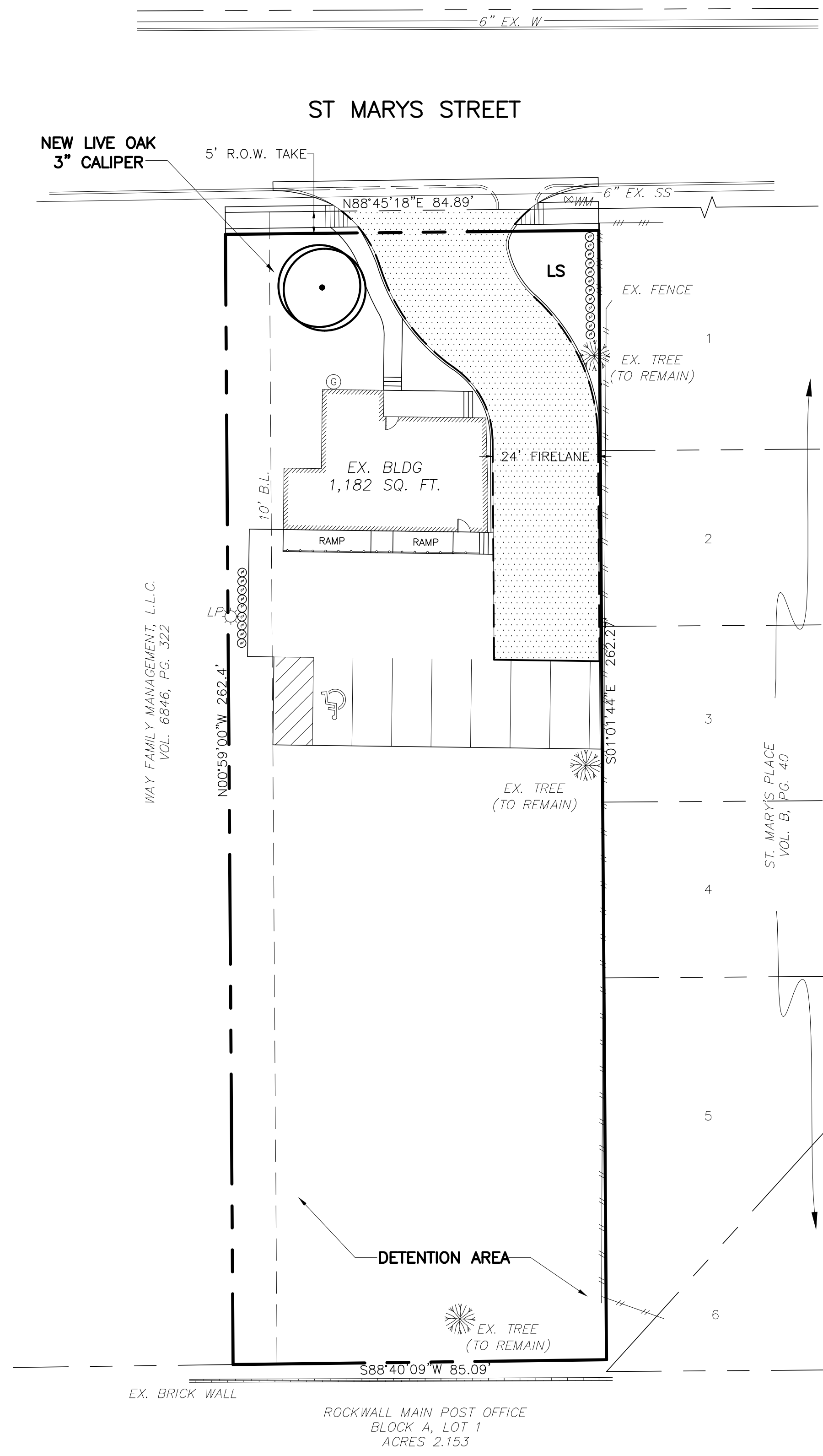
We purchased this building and lot with the intention of converting the space into a medical office where we will provide treatments, counseling, and coaching to clients who seek a variety of services that are deemed medical by the State of Texas. We will not be using anesthesia for any treatments. Some treatments include injectables and skin treatments. We will not be offering traditional salon-type or manicurists/nail treatments.

We are hopeful that the approval to redesign the lot will bring the neighborhood, surrounding businesses, and neighbors a fresh view. The current structure and lot are unfinished and have been for almost three years. As is, the property is an eye sore. We are invested in our community and neighborhood and are excited to move forward with this project.

Respectfully,

Justine Jones & Ashley Egan





**NO TREE WITHIN 5' OF UTILITIES**

**SITE DATA:**

**LOT AREA:**  
0.51 Acres, 22,278.6 Sq. Ft.  
**EX. BUILDING AREA:**  
1,182 sq.ft.  
**PROPOSED USE:**  
Office  
**IMPERVIOUS AREA (including buildings):**  
7,315 sq.ft.  
**PARKING:**  
Required:(1 space/300) = 4  
Provided:  
Standard= 6  
Handicapped = 1  
Total Provided = 7  
**LANDSCAPE AREA:**  
Required: (10%) 2,228 sq.ft.  
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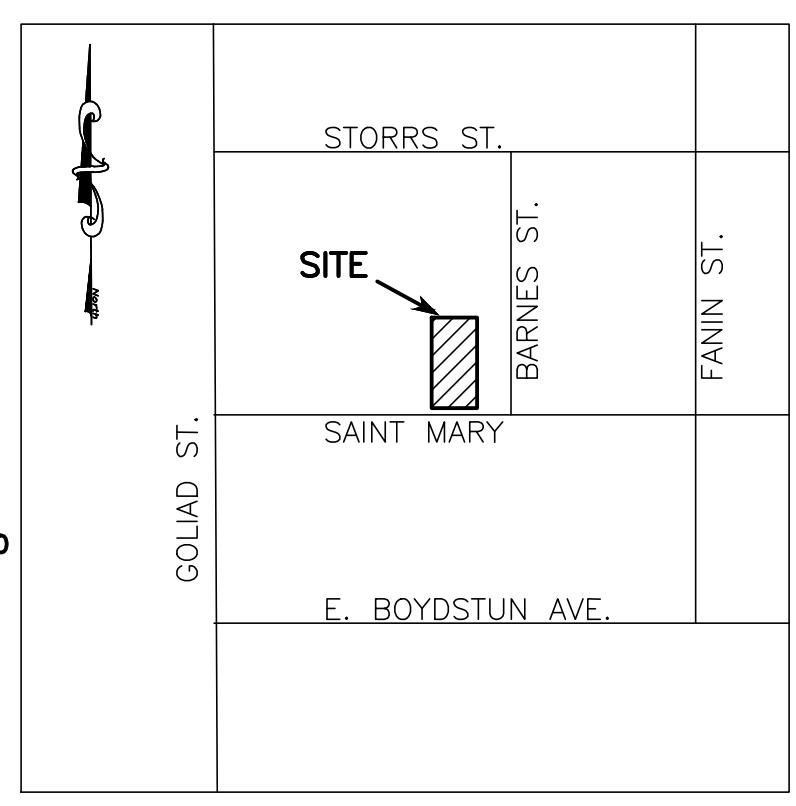
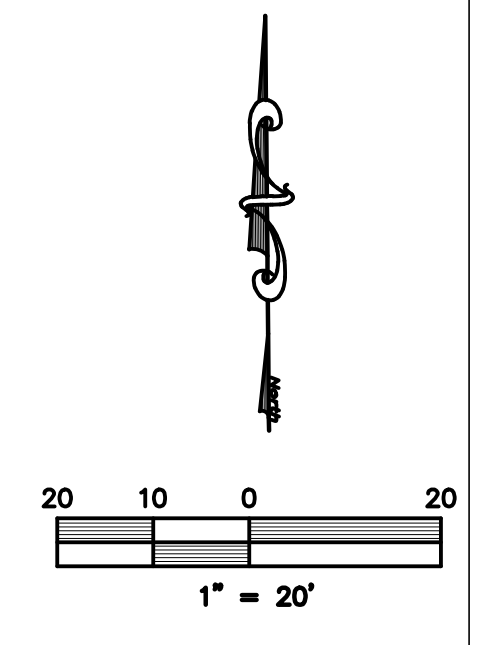
**LANDSCAPE TABULATION:**

GROSS AREA:	0.51 ACRES	=	22,279 SF
REQUIRED LS AREA:	10%	=	2,228 SF
PROVIDED LS AREA:	67%	=	14,964 SF

**DESCRIPTION OF LS MATERIAL:**

FRONTAGE 60 LF (NIC DRIVES) = 1 TREE (LIVE OAK, 4" CALIPER (CANOPY))

SHRUBS FOR HEADLIGHT SCREENING: AT PLANTING SHOULD BE 24" TALL 36" O.C.



LOCATION MAP (NOT TO SCALE)

**LEGEND**

- = PROPERTY LINE
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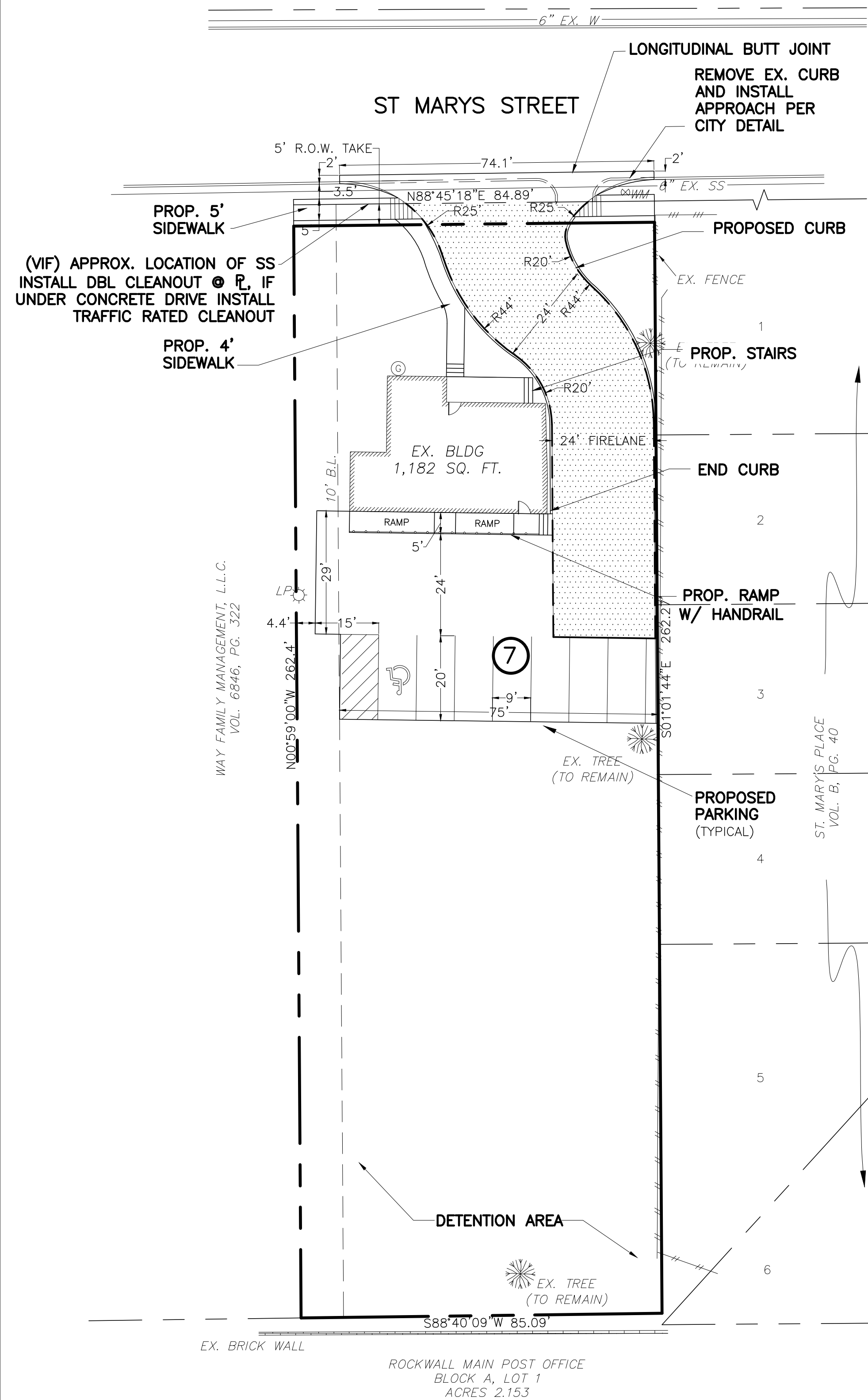
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**CASE #: SP**  
**LANDSCAPE PLAN**  
**108 SAINT MARY STREET**  
City of Rockwall, Rockwall County, Texas 75087

owner  
**Reborn Skin & Beauty**  
6705 Heritage Pkwy, Ste. 104  
Rockwall, TX 75087

date: 4/12/23 scale: 1" = 20' sheet: L101





**SITE DATA:**

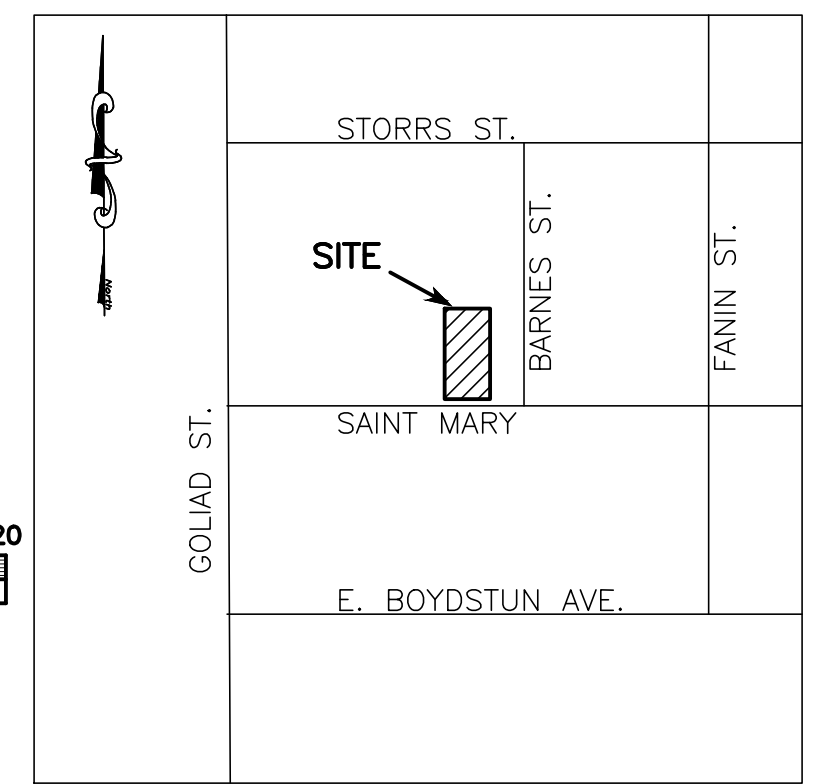
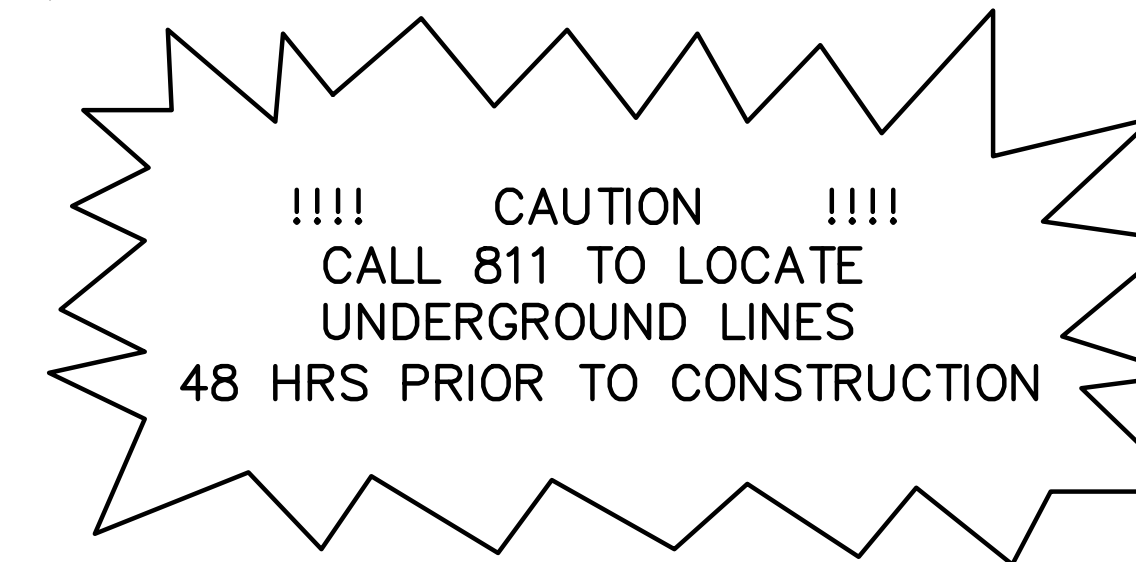
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- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

**PAVING NOTES:**

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

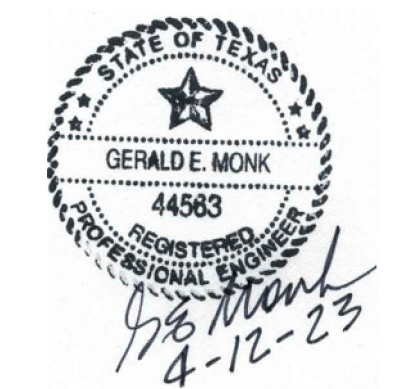


LOCATION MAP (NOT TO SCALE)

**LEGEND**

- = PROPERTY LINE
- 460 --- = EXISTING CONTOURS
- 460--- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES  
tc = TOP OF CURB  
ep = EDGE OF PAVEMENT  
tw = TOP OF WALL  
bw = BOTTOM OF WALL  
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- ⊙ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ FH = PROPOSED FIRE HYDRANT

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**\*\* NOTICE TO CONTRACTORS \*\***  
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**CASE #: SP**  
**SITE PLAN**  
**108 SAINT MARY STREET**  
City of Rockwall, Rockwall County, Texas 75087

OWNER  
**Reborn Skin & Beauty**  
6705 Heritage Pkwy, Ste. 104  
Rockwall, TX 75087

prepared by  
**MONK CONSULTING ENGINEERS, INC.**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

REG NO.: F-2567  
2023 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-015  
PROJECT NAME: Site Plan for The Finch  
SITE ADDRESS/LOCATIONS: 2610 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-015; Site Plan for 2610 Sunset Ridge Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2023-015) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Site Plan

(1) Extend the sidewalk along Sunset Ridge Drive up to the right-of-way for IH-30.

(2) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

M.6 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

(2) Please provide lighting cut sheets that indicate the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03.A, of Article 07, of the UDC)

M.7 Building Elevations

(1) Indicate exterior elevations adjacent to public right-of-way.



- (2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, of the UDC)
- (3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, of the UDC)
- (4) A minimum of 20% natural or quarried stone is required on all building façades in an Overlay District. (Subsection 06.02.C.1(a)(1), of Article 05, of the UDC). This will require a variance from the Planning and Zoning Commission.
- (5) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (6) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (7) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. (Subsection 06.02.5, of Article 05, of the UDC and Planned Development District 32 [Ordinance 19-25]). This will require a variance from the Planning and Zoning Commission. For compensatory, dress up the South elevation with a couple architectural elements (i.e. an arcade) and varying materials as this elevation will be visible from Sunset Ridge.

#### M.8 Landscape Plan

- 1) Provide a landscape plan indicating a line of shrubs (24" tall, 36" on center) along IH-30 for an added noise barrier for the patio.
- 2) The four-sided architecture requirement also incorporates the requirement of a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) that shall be planted along perimeter of the subject property to the rear of the building. Staff suggests adding four (4) accent trees along the north side of the property to provide an added noise barrier for the patio.
- 3) Provide an exhibit of landscape pots.

#### M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

- (1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.
- (2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building has a flat roof and therefore does not meet this standard.
- (3) 20% Stone Requirement: According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the proposed building elevations do not incorporate any stone.

M. 10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11, of the UDC). Compensatory measures to consider:

- (1) Additional landscaping.
- (2) Increased building articulation.
- (3) Increased architectural elements.

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:



- (1) Planning & Zoning Work Session meeting will be held on April 25, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Approved

04/20/2023: - New construction to meet the utility, drainage, and grading requirements as constructed with the Harbor Heights Restaurant and Retail as-built plans. Please see as-built drawings attached.

The following items are informational for the design process.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Dumpsters must have an oil/water separator installed.

Water and Wastewater Items:

- Water and fire sprinkler line must be 10' apart.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

04/17/2023: The FDC location shall be reviewed. The FDC location shall allow hose lines to be readily and conveniently attached without interference from nearby objects, including retaining walls, fences, posts, or other obstructions. The FDC shall be 1.5–4 ft above the grade of the fire lane.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved w/ Comments

04/18/2023: Address will be 2610 Sunset Ridge, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: Please provide landscape plan for the new addition only





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeierarchitects.com

## NOTARY VERIFICATION [REQUIRED]

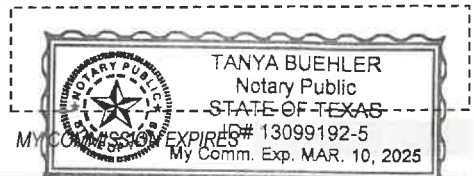
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

OWNER'S SIGNATURE

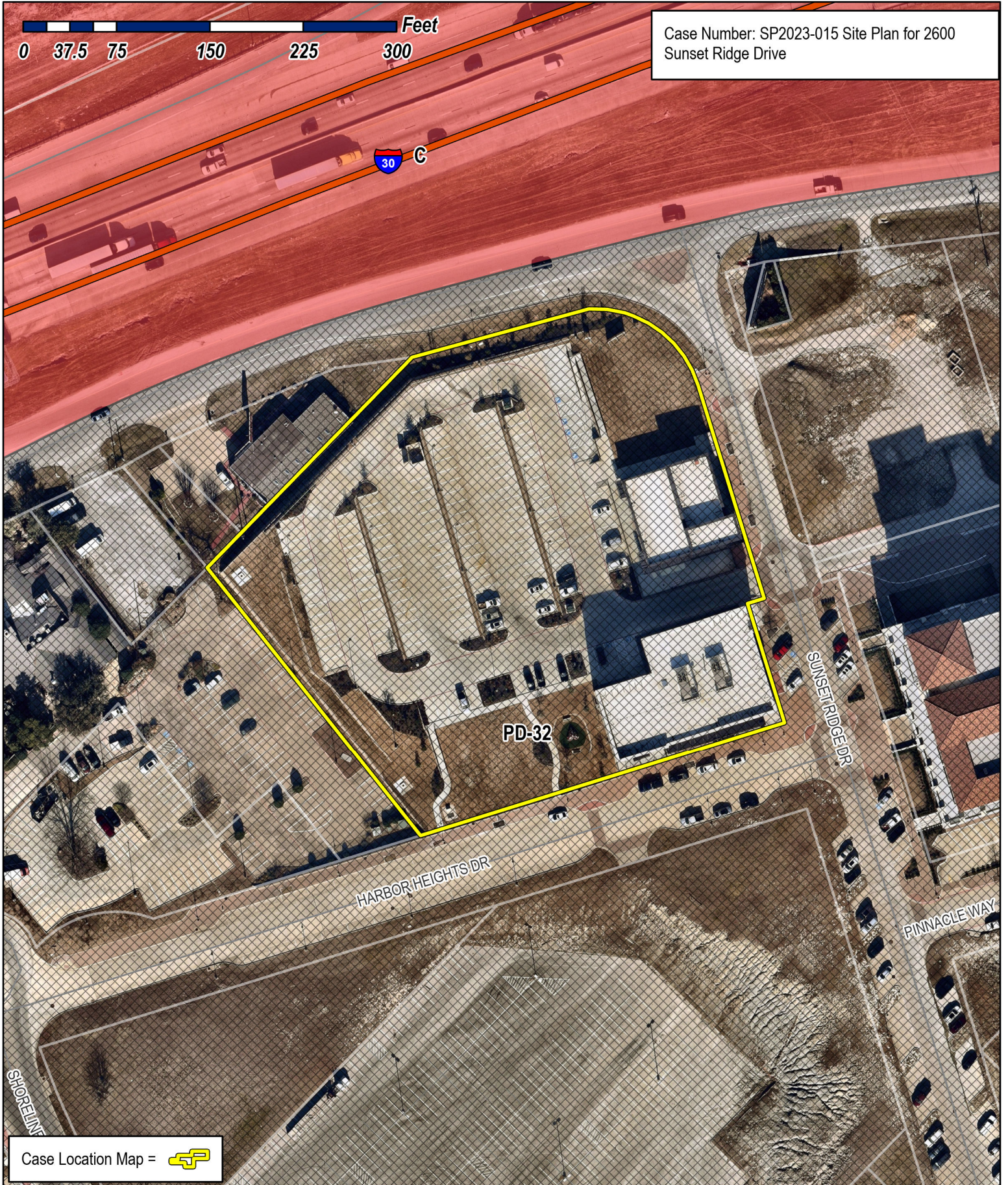
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600  
Sunset Ridge Drive



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

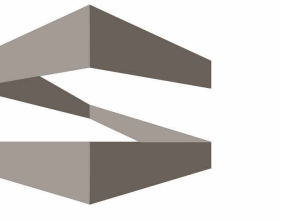




Service Road  
30 SERVICE ROAD

**LEGEND**

- PLANTING POTS
- ⊗ SHRUB  
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING  
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA

PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

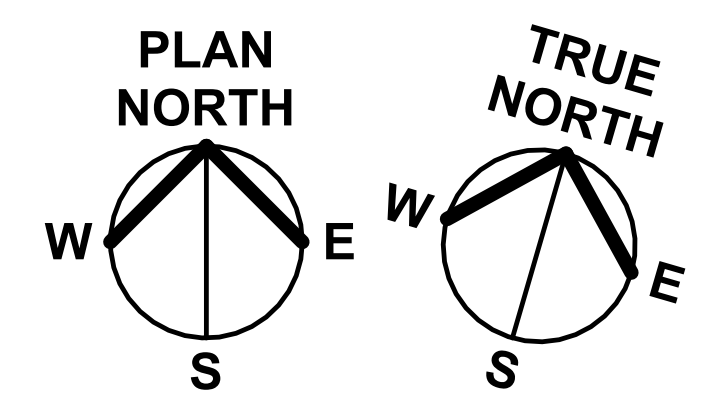
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Revisions:  
# Revision Date Revision Description

Sheet Title:

**OVERALL SITE  
PLAN**

**1 OVERALL SITE PLAN**  
3/32" = 1'-0"



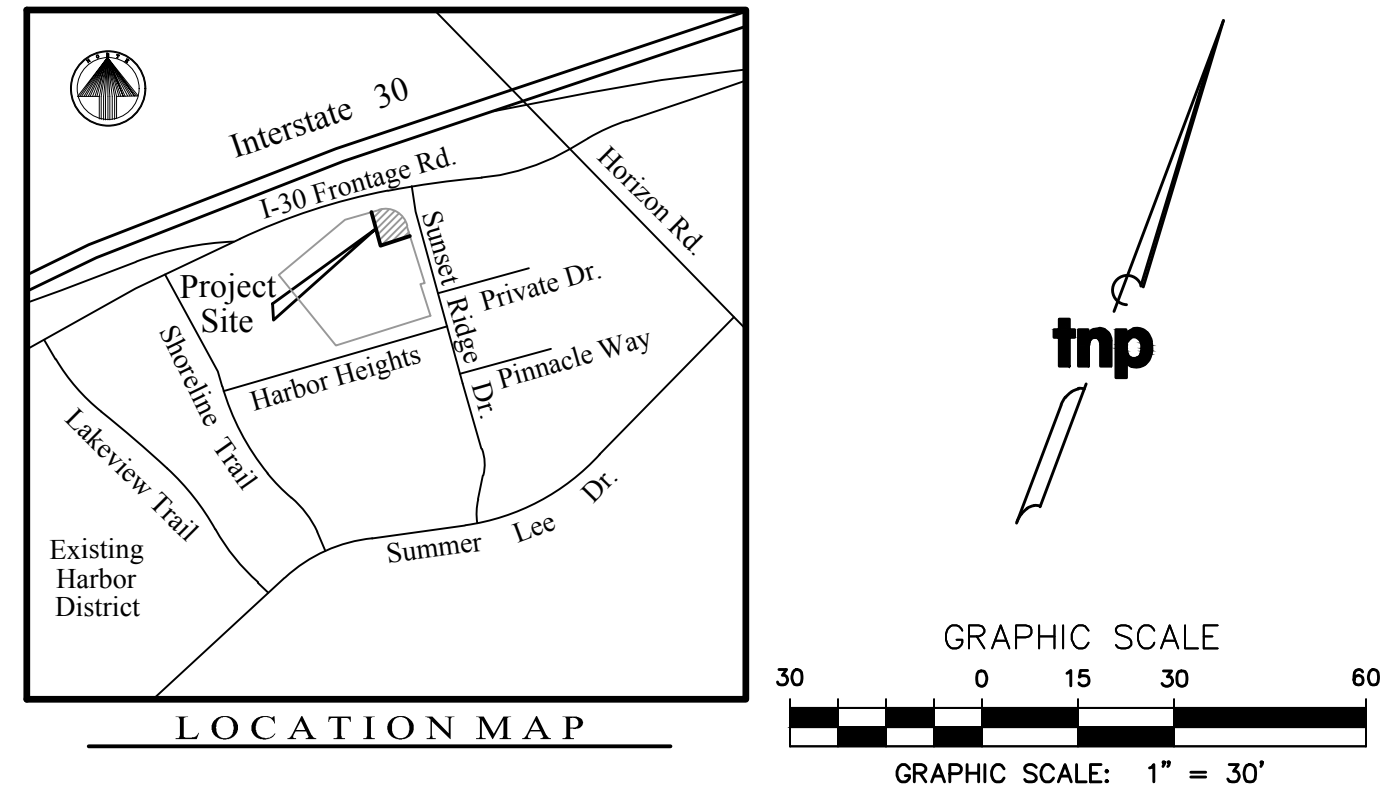
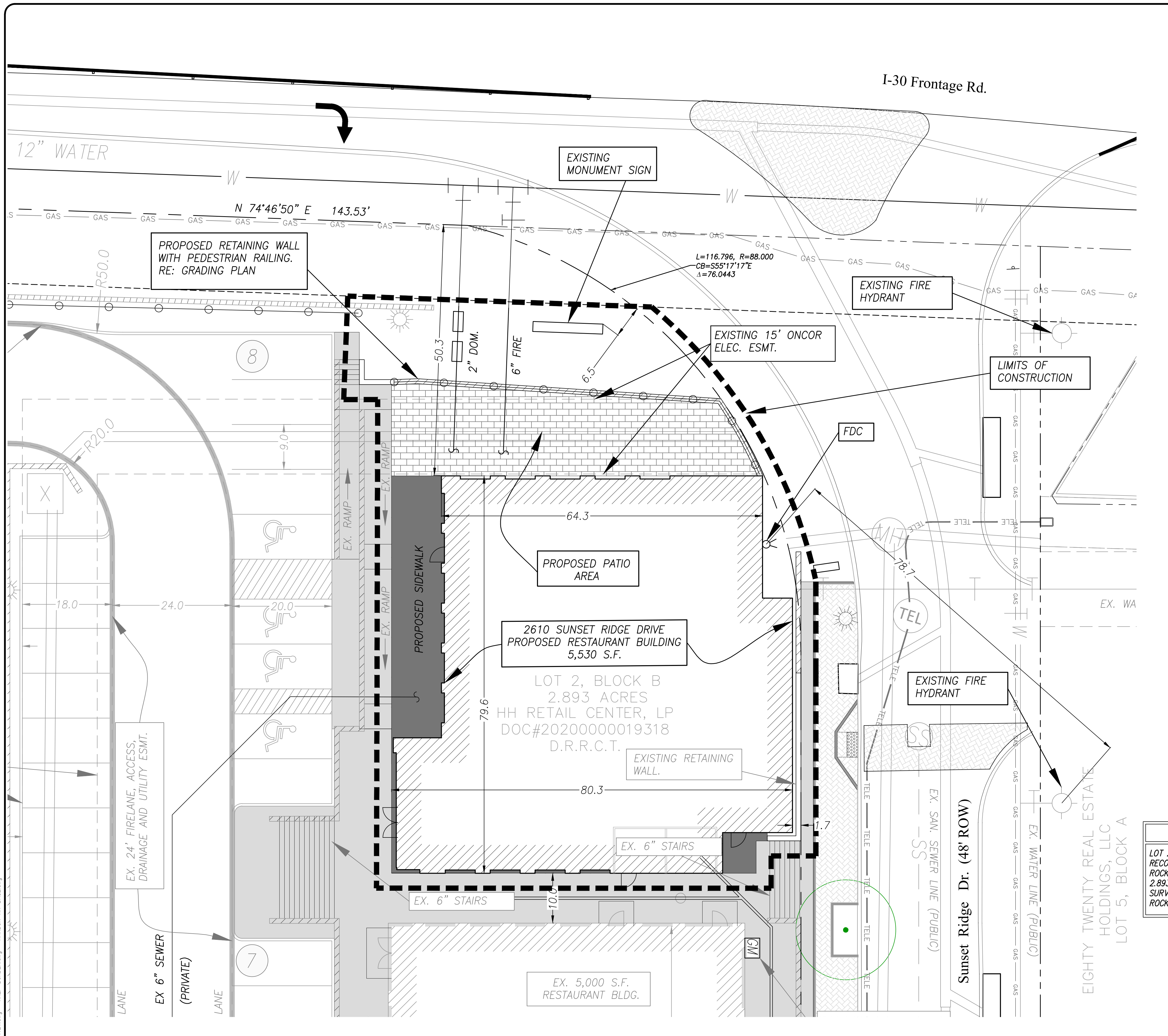
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Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.rvt

4/13/2023 3:02:25 PM



Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by cslown  
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



**SITE INFORMATION:**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
  - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

**LEGAL DESCRIPTION**

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

**OWNER INFORMATION**

HH RETAIL CENTER, LP,  
2701 SUNSET RIDGE DRIVE  
ROCKWALL, TX 75032

**ENGINEER INFORMATION**

CAMERON SLOWN, P.E.  
TEAGUE, NALL AND PERKINS, INC.  
825 WATTERS CREEK BLVD, SUITE M300  
ALLEN, TX 75013

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
Witness our hands this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

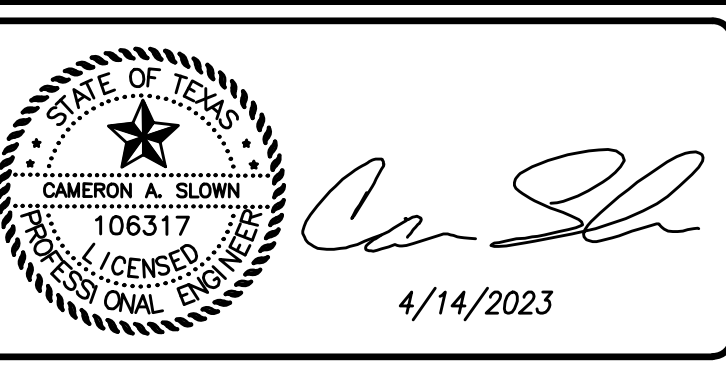
\_\_\_\_\_  
Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



**teague nall and perkins, inc**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
www.tnppinc.com  
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale  
when bar is  
1 inch long  
horiz  
1"=30'  
vert  
N/A  
APR 2023

**HH RETAIL CENTER, LP.**

ROCKWALL, Texas  
Improvements for  
**2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING**  
SITE PLAN

tnp project  
OZO20505  
sheet  
**C1.04**



MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

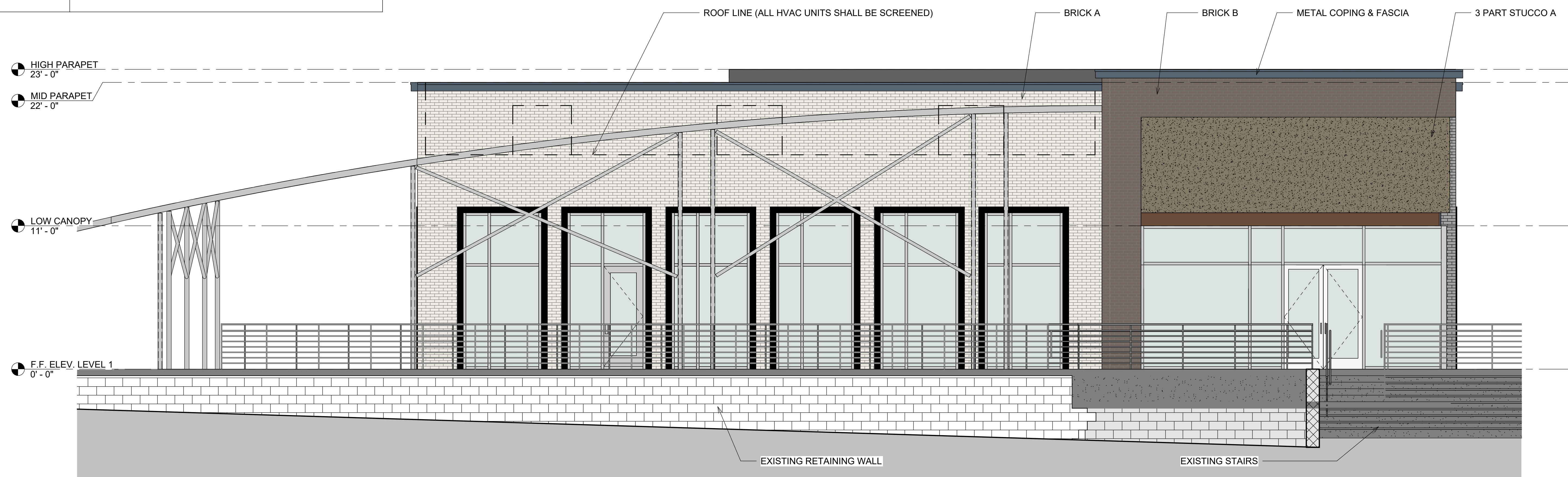
**APPROVED:**  
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 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      \_\_\_\_\_  
 Director of Planning and Zoning



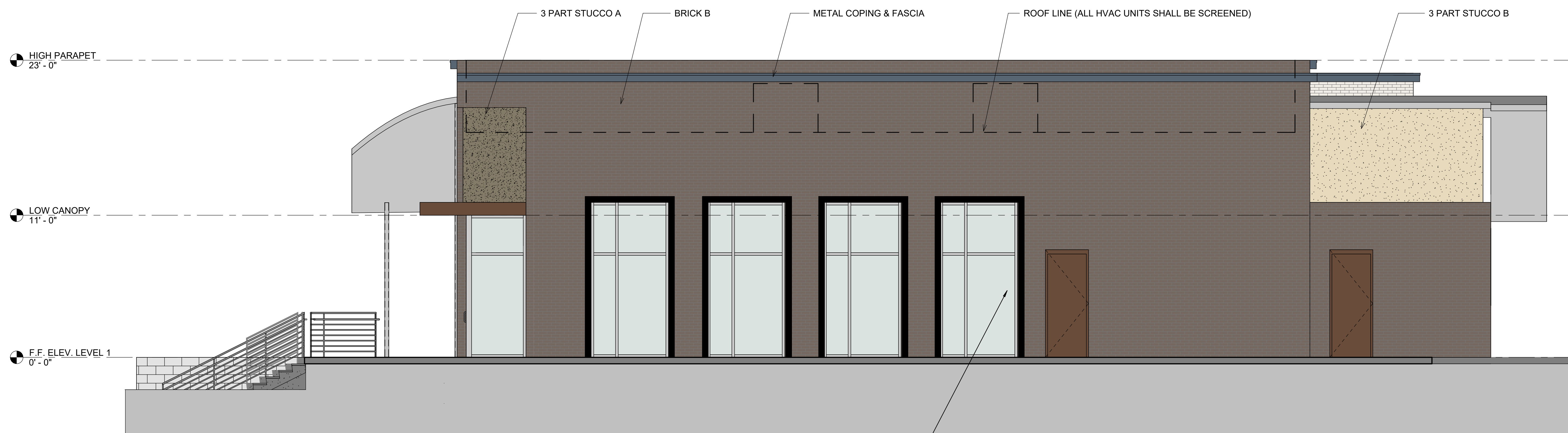
**ARCHITECT**  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

**CIVIL**  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

**STRUCTURAL**  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - WEST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - SOUTH**  
 1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: PC  
 Checked: JS  
 Scale: As indicated

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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**



MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
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WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

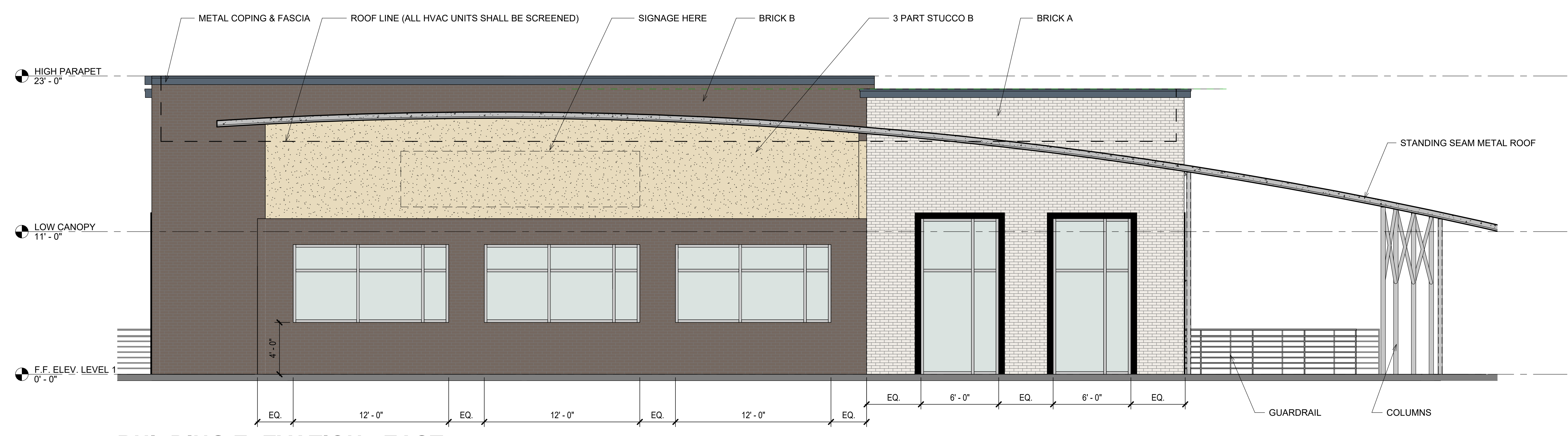
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 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

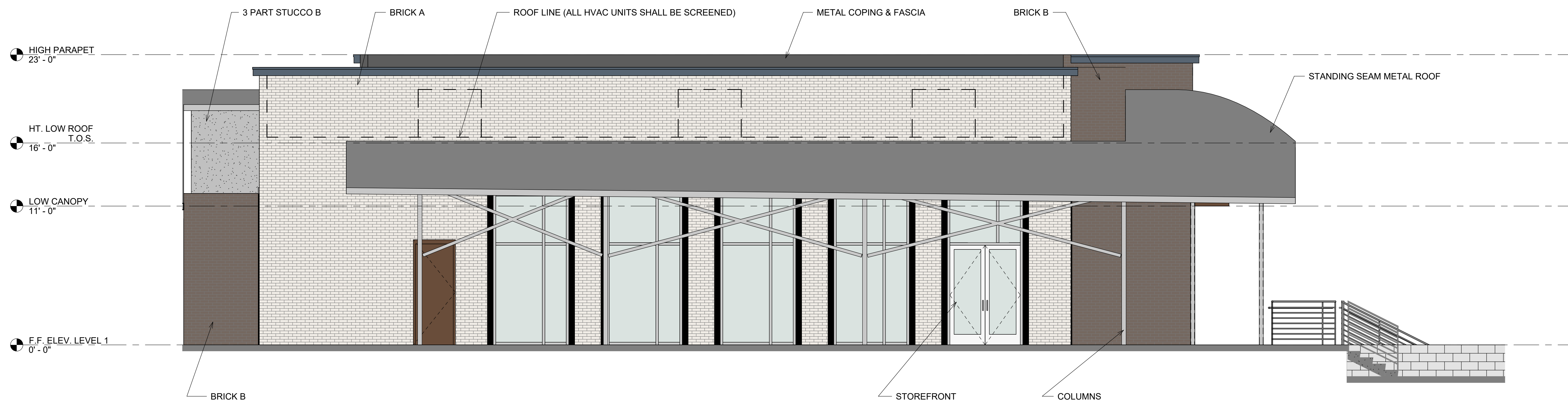
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 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - EAST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
 1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: Author  
 Checked: Checker  
 Scale: As indicated

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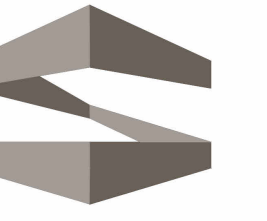
Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**

Autodesk Docs://HRRR\_FINCH/HRRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:03:34 PM





**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
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ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



JIMMY STROHMEYER, AIA  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale:

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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**COLOR BOARD**



**ACME BRICK  
GLACIER WHITE**



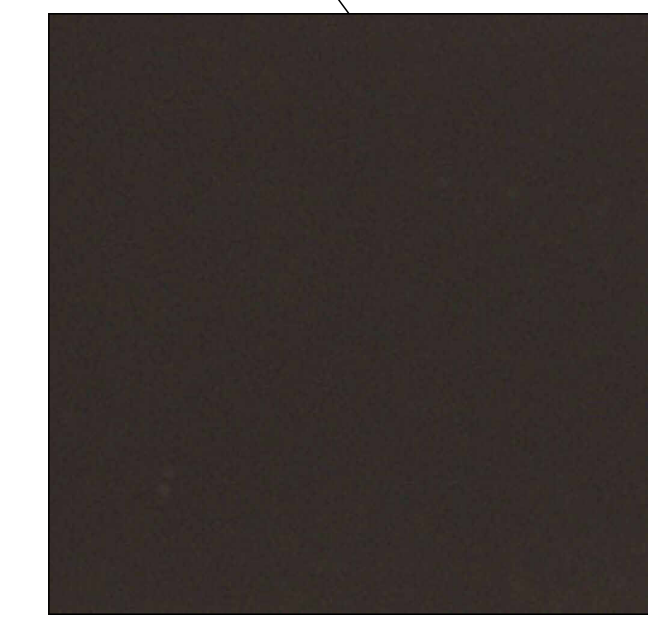
**ACME BRICK  
MARBLE GRAY**



**SENERGY  
SAHARA MAXI - SAGE**



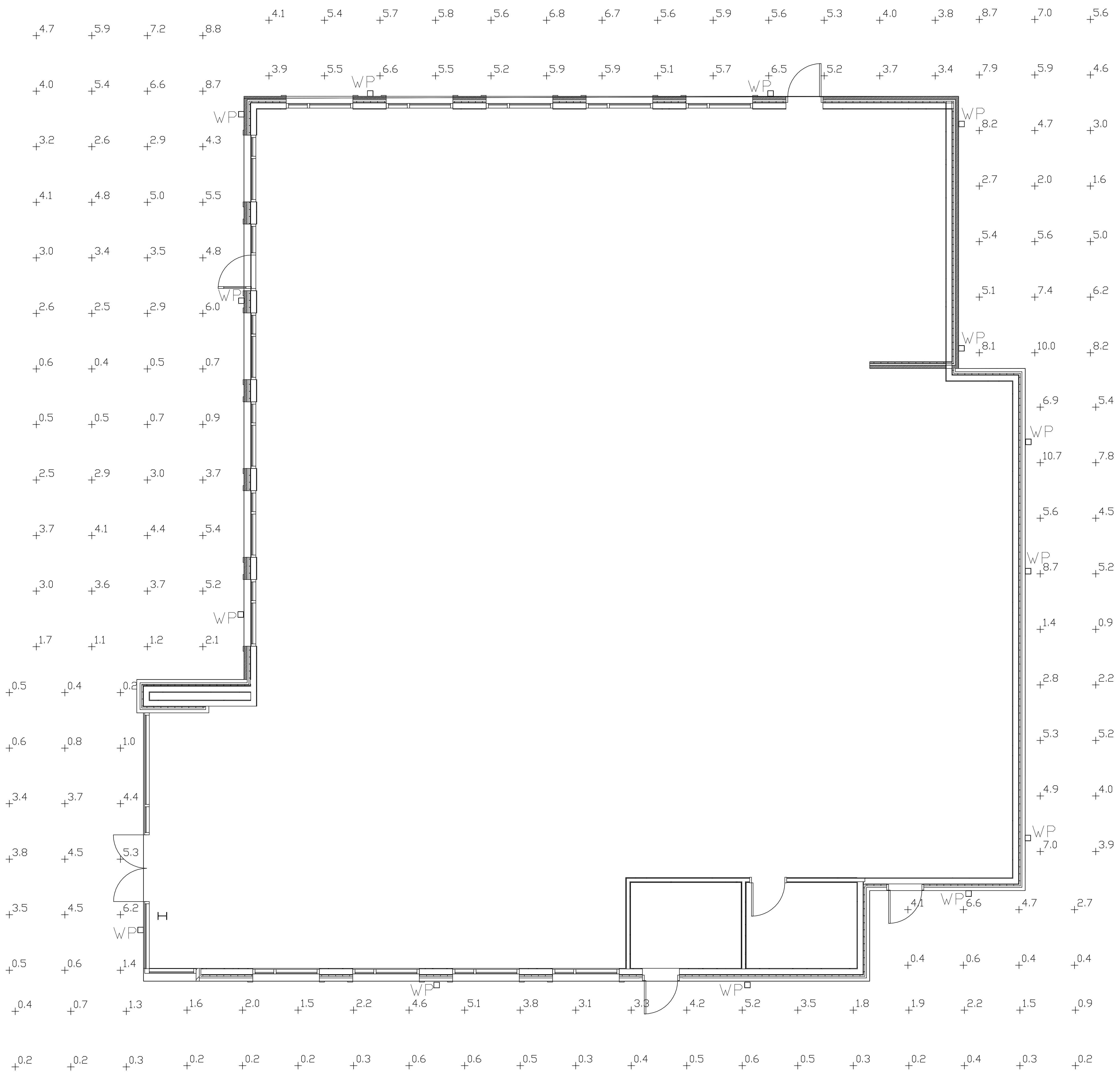
**SENERGY  
SAHARA MAXI - GRAY MORTAR**



**DARK BRONZE**



LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



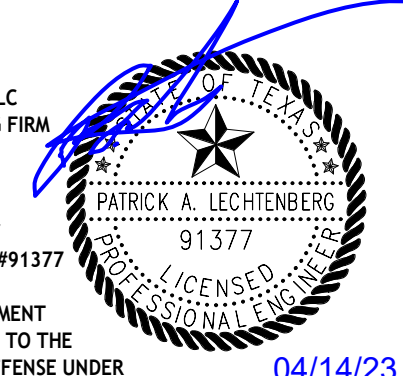
**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE 500  
ALLEN, TEXAS 75013

MEP ENGINEERING  
C1S GROUP  
4231 SIGMA ROAD, SUITE 110,  
DALLAS, TEXAS 75244

PROFESSIONAL SEALS  
LECHTENBERG ENGINEERING, PLLC  
TEXAS REGISTERED ENGINEERING FIRM  
F-15918



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE.

04/14/23

**PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL**

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: AUTHOR  
Checked: CHECKER  
Scale: NONE

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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**PHOTOMETRIC SITE PLAN**

# 1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

E101

\\CIS-FS01\C1S Projects\2-DESIGN\REV\HRRR\_Finch MEP\4\_DESIGN\REV\HRRR\_FINCH\_4.12.23.rvt 4/14/2023 12:39:04 PM



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-016  
PROJECT NAME: PD Site Plan for Park Hills  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/20/2023	Needs Review

04/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-99) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-016) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 98 (PD-98).

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**M.6 Site Plan:**

(1) The Lot information for Lots 1-4, Block C are not present on the site plan. Please add the corresponding information to those lots. (PD-98; Ordinance No. 22-46)



M.7 Landscape Plan:

- (1) Vitex is not a permitted accent tree. Please propose a different accent tree. (PD-98; Ordinance No. 22-46)
- (2) Please correct the landscape table to show the canopy trees as four (4) inch caliper, accent trees four (4) feet in height, and shrubs five (5) gallon. (PD-98; Ordinance No. 22-46)
- (3) Please include a note that states before the issuance of any Certificate of Occupancy (CO) for any residential lot there must be two (2) four (4) inch caliper canopy trees planted in front of the home, and four (4) four (4) caliper on corner lots. (PD-98; Ordinance No. 22-46)
- (4) Please delineate all landscape buffers. There should be a 10-foot landscape buffer along all streets that have frontage along open space. Included in this buffer should be one (1) canopy and one (1) accent tree per 50 linear feet. (PD-98; Ordinance No. 22-46)
- (5) North of the future alignment of Williams Street there should be 14 canopy trees and 19 accent trees. South of the future alignment of Williams Street there should be 18 canopy trees and 24 accent trees. West of the future alignment of SH-66 there should be 69 canopy trees and 92 accent trees. East of the future alignment of SH-66 there should be 64 canopy trees and 86 accent trees. These trees should be located within the landscape buffers. These buffers must also include a berm and shrubs. In addition, residential lots that back or side a major roadway shall have an additional row of shrubs against the wrought-iron fence. (PD-98; Ordinance No. 22-46)

M.8 Hardscape Plan:

- (1) Please indicate the light poles on the hardscape plan and indicate their height; the height shall not exceed 20-feet. Please provide cutsheets. (PD-98; Ordinance No. 22-46)
- (2) Please review the fence exhibit mark-up included with the email with the comments and make the necessary changes. (PD-98; Ordinance No. 22-46)

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on May 2, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

04/20/2023: - Easement width based on depth of main times 2 rounded up to the nearest multiple of 5.

- Ramps for Mossvine are not shown on the engineering plans. Show utility easements.
- No mid-block barrier free ramps.
- 10' trail down John King. Also need a barrier free ramp.
- Edging to be higher than mulch to contain.
- 

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------



---

FIRE	Ariana Kistner	04/17/2023	Approved
------	----------------	------------	----------

---

No Comments

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved w/ Comments

---

04/18/2023: 1. Will need a new street name in place of Shady Oaks Dr. (This street name is being used in a new addition under already construction).  
2. Will also need an addition street name for the north-south segment of Overhill Dr.  
3. Also send a CAD (.dwg) of the lot lines and street centerlines to lsingleton@rockwall.com

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

---

No Comments

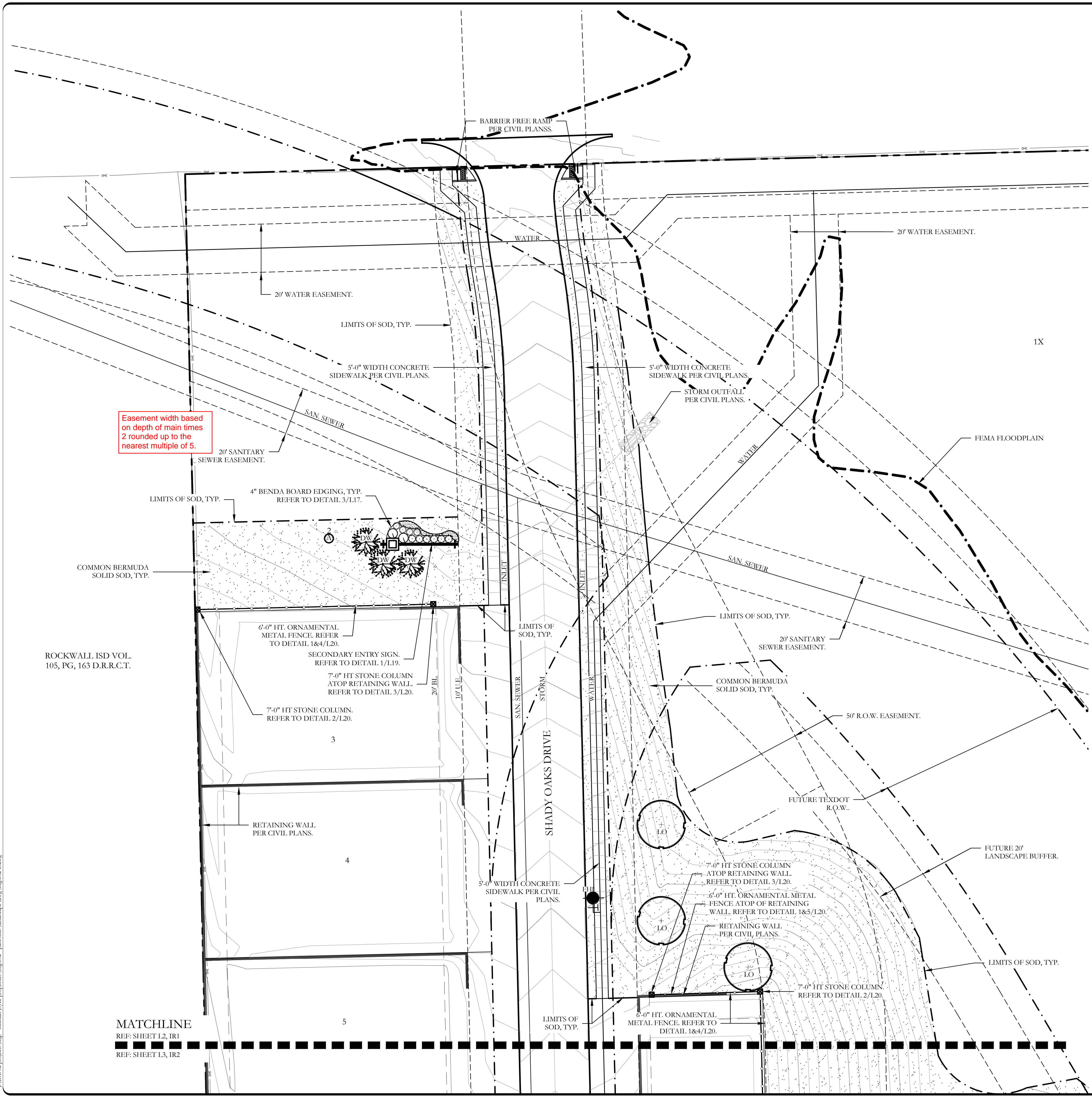
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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

---

04/17/2023: A. Tree mitigation approved  
B. Landscape and trails plan  
1. Parks and Planning are working with Houck designs on how to connect trail safely from cul de sac to the existing trail by lake.  
2. All canopy trees must be 4" caliper minimum per ordinance please change form 3" caliper  
3. Please recalculate detention pond trees. 1 canopy tree per 750 sqft of detention and 1 accent/ornamental tree per 1,500 sqft of detention.  
4. Recommend utilizing TifTuf Bermuda versus common in sodded area due to drought tolerance, cold tolerance and wear tolerance.





### HARDSCAPE LEGEND

- MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
- 
- 
- 
- 
- 

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

Easement width based on depth of main times 2 rounded up to the nearest multiple of 5.

ROCKWALL ISD VOL. 105, PG. 163 D.R.R.C.T.

MATCHLINE  
REF: SHEET L2, R1  
REF: SHEET L3, R2

SCALE 1" = 20'



MATCHLINE

REF: SHEET L2, IR1

REF: SHEET L3, IR2








ROCKWALL ISD VOL. 105, PG. 163 D.R.R.C.T.

MATCHLINE

REF: SHEET L3, IR2

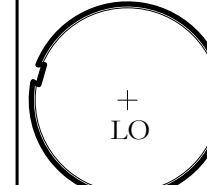
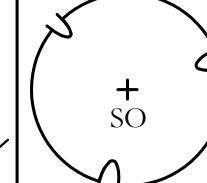
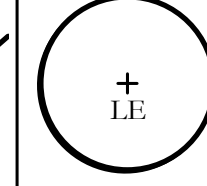
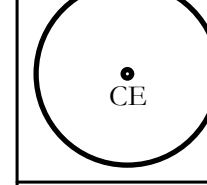
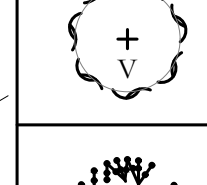
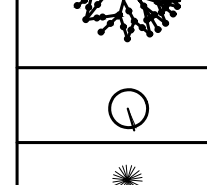
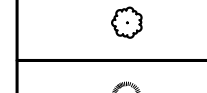








REF: SHEET L4, IR3

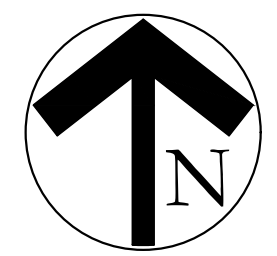
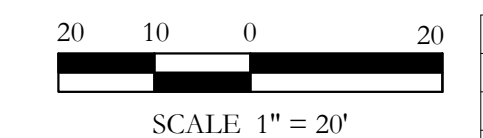
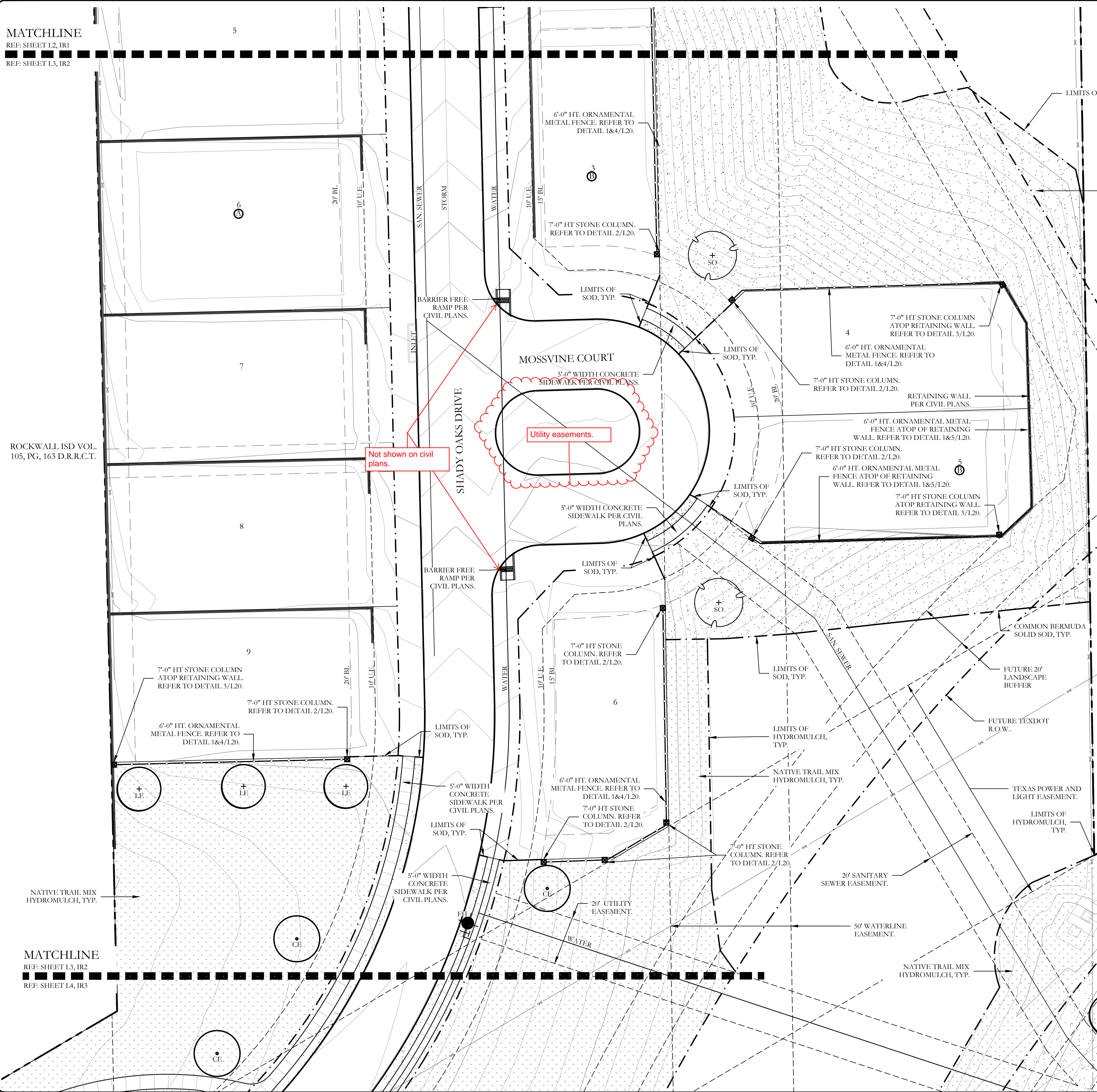
### HARDSCAPE LEGEND

-  MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
-  SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
-  7'-0" HT. STONE COLUMN.  
REFER TO DETAIL 2/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE.  
REFER TO DETAIL 1&4/L20.
-  7'-0" HT. STONE COLUMN ATOP OF  
RETAINING WALL. REFER TO DETAIL  
3/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE  
ATOP OF RETAINING WALL. REFER TO  
DETAIL 1&5/L20.
-  4'-0" HT. SPLIT RAIL FENCE. REFER TO  
DETAIL 4/L21.

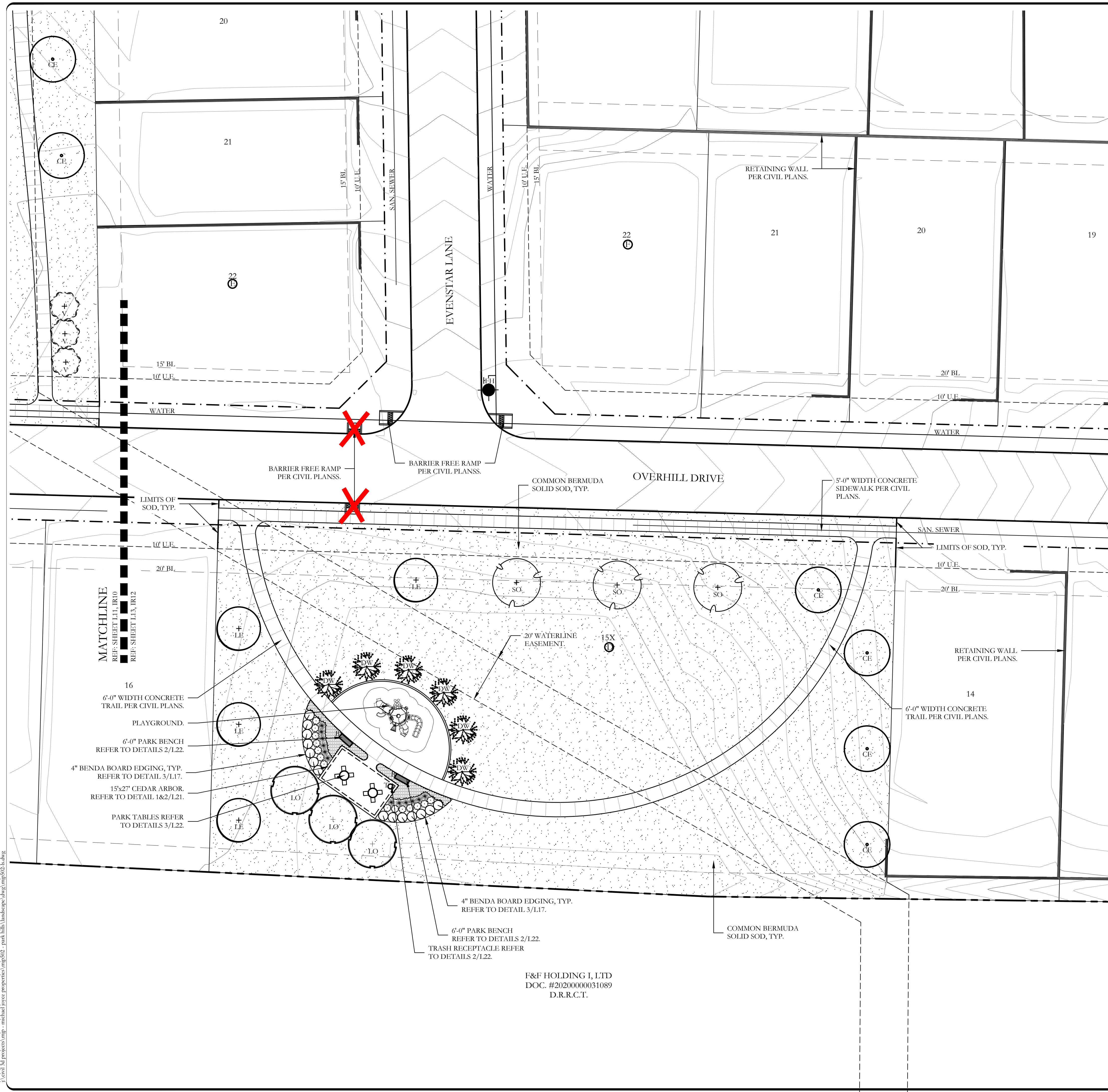
NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY







### HARDSCAPE LEGEND

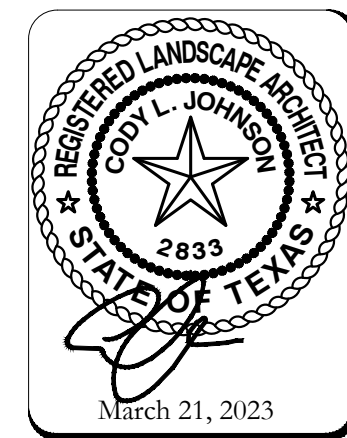
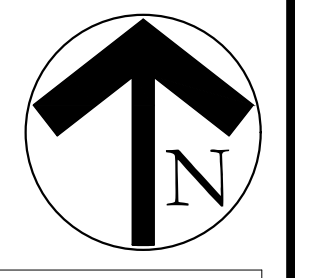
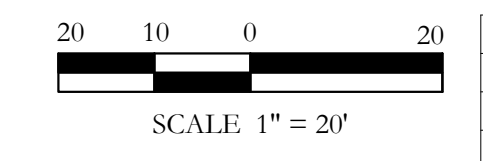
- MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
- 
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NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

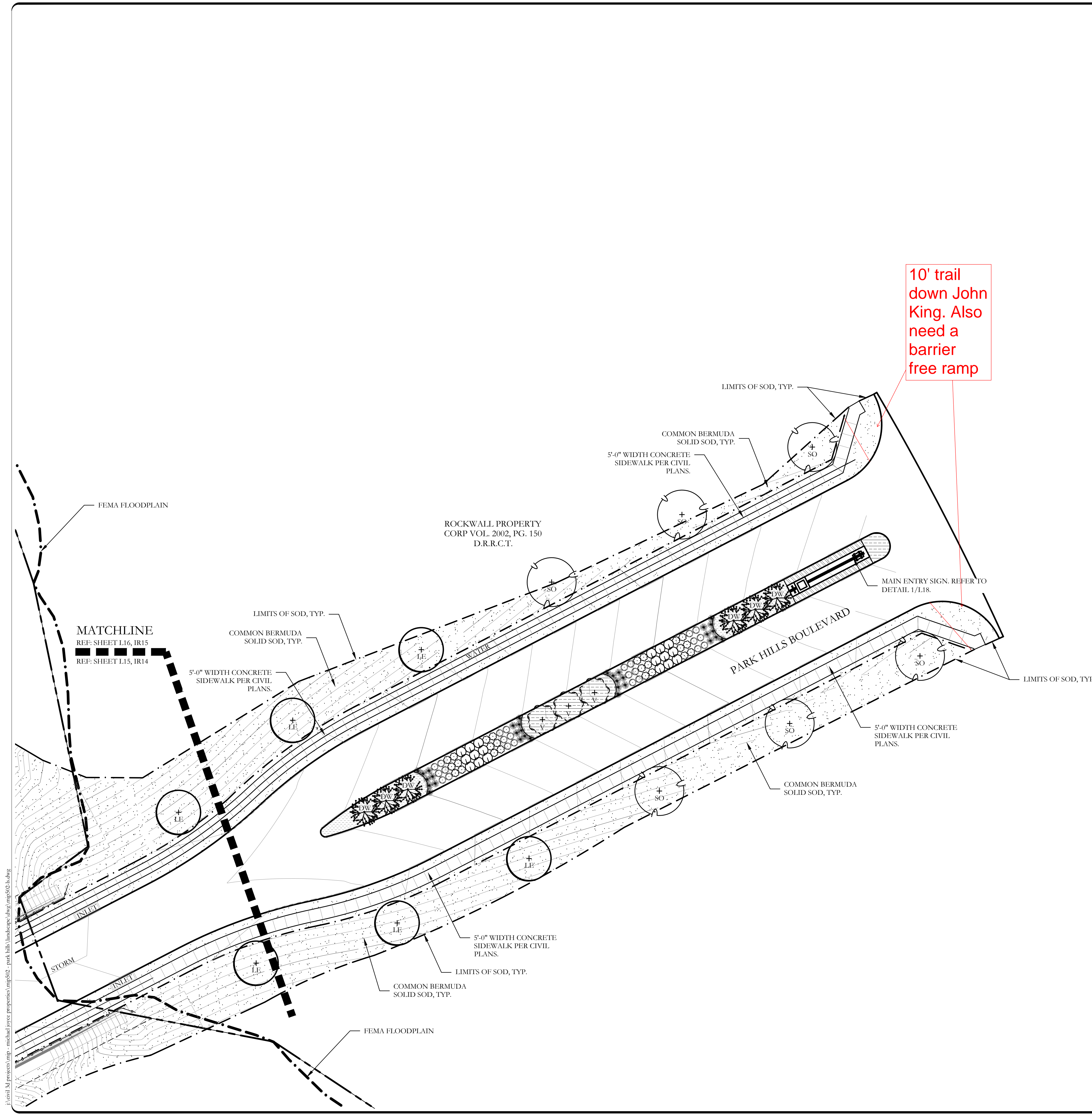
### PLANT LEGEND

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	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
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	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

F&F HOLDING I, LTD  
DOC. #20200000031089  
D.R.R.C.T.







### HARDSCAPE LEGEND

- MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN REFER TO DETAILS 1/L19.
- 7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/L20.
- 6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 1&4/L20.
- 7'-0" HT. STONE COLUMN ATOP OF RETAINING WALL. REFER TO DETAIL 3/L20.
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- 4'-0" HT. SPLIT RAIL FENCE. REFER TO DETAIL 4/L21.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY





PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	30	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	33	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	23	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	25	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	21	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	24	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	34	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	44	PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	28	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	407	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	85	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	216	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	325,350	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	263,528	NATIVE TRAIL MIX BY NATIVE AMERICAN SEED CO.		SQUARE FEET	HYDROMULCH	MIN 100% COVERAGE ALL AREAS SHOWN AT 70% DENSITY

### GENERAL LANDSCAPE NOTES

#### INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

#### LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

#### IRRIGATION STANDARDS:

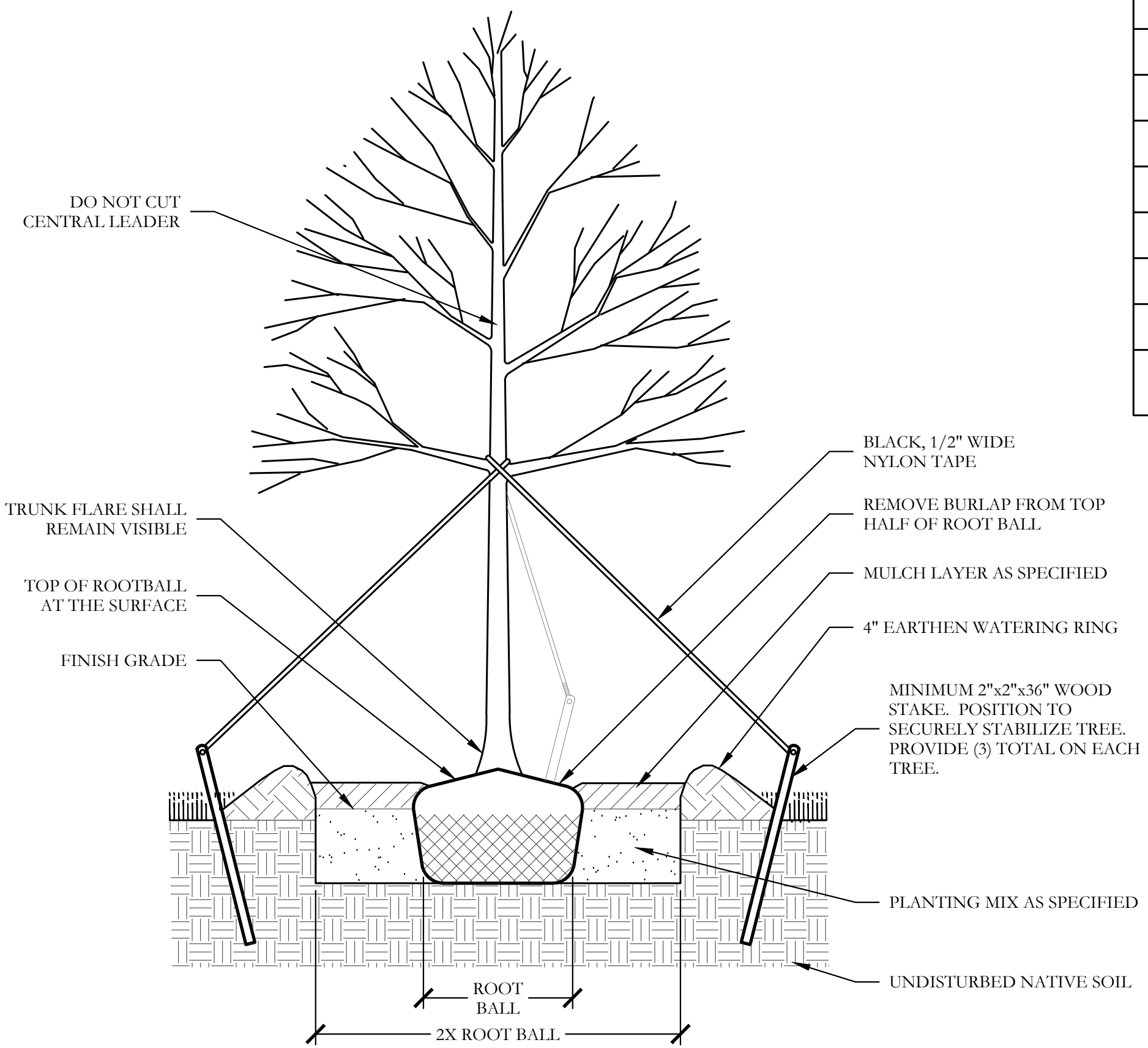
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

#### MAINTENANCE STANDARDS:

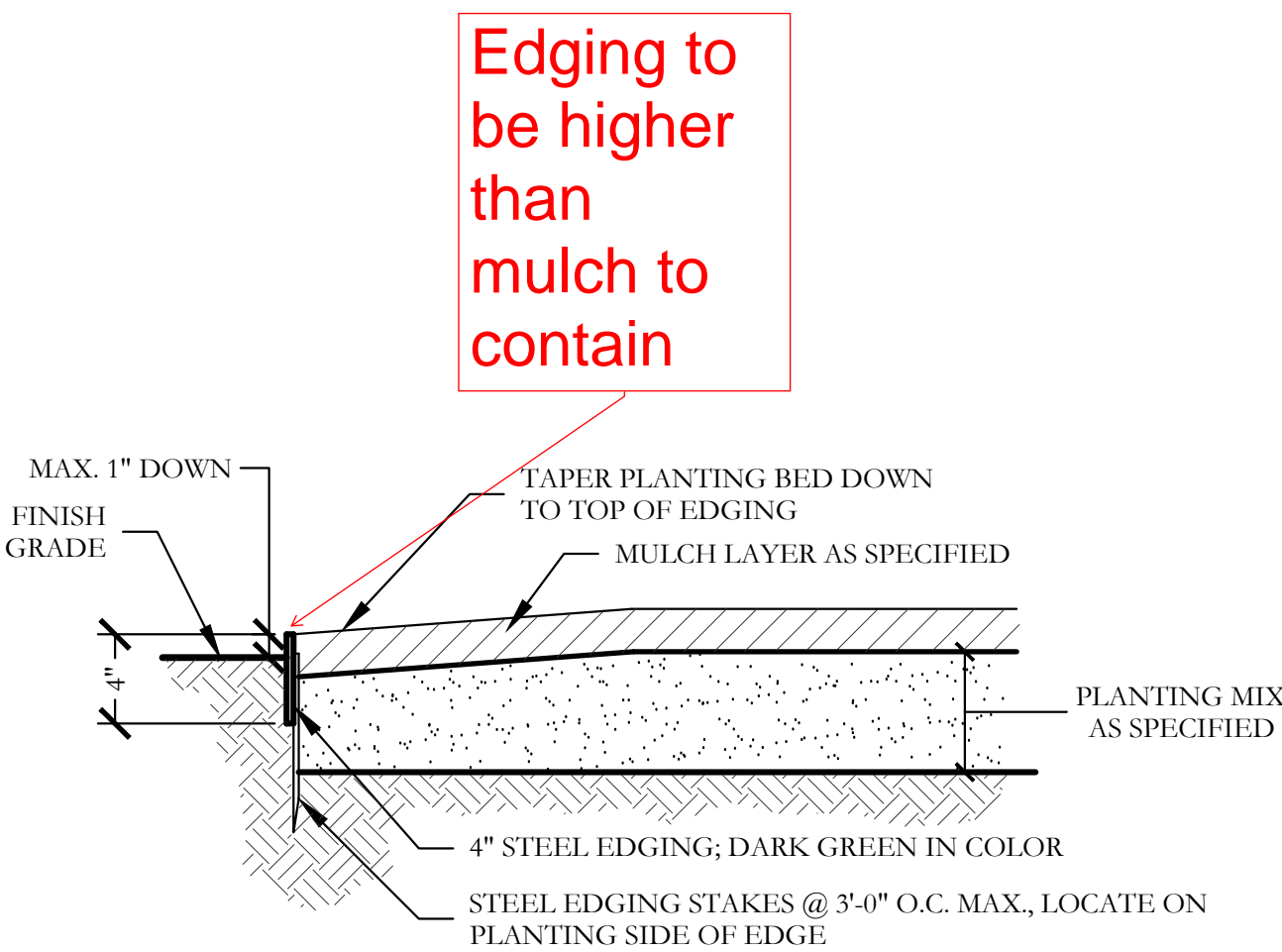
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

#### TREE PROTECTION NOTES:

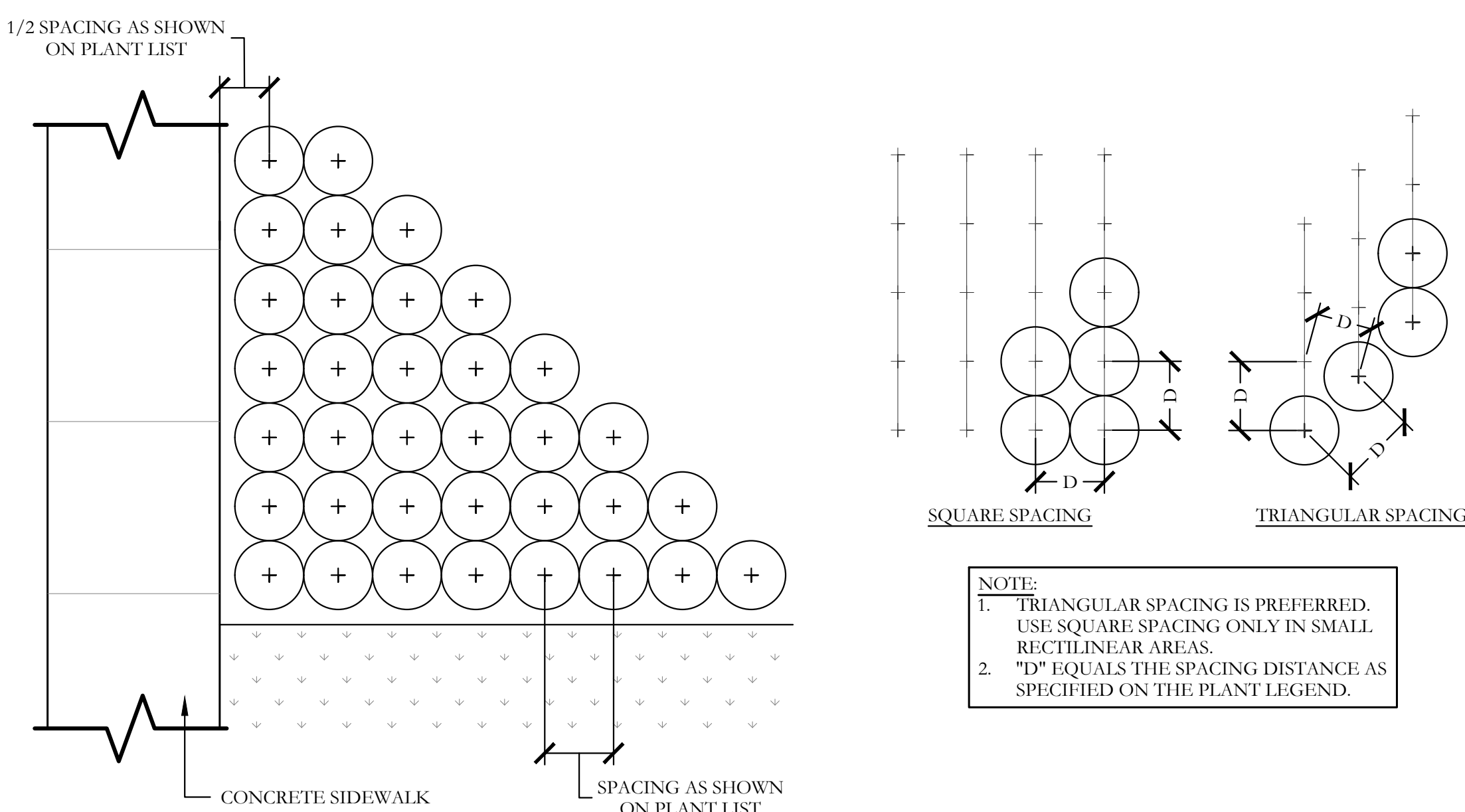
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



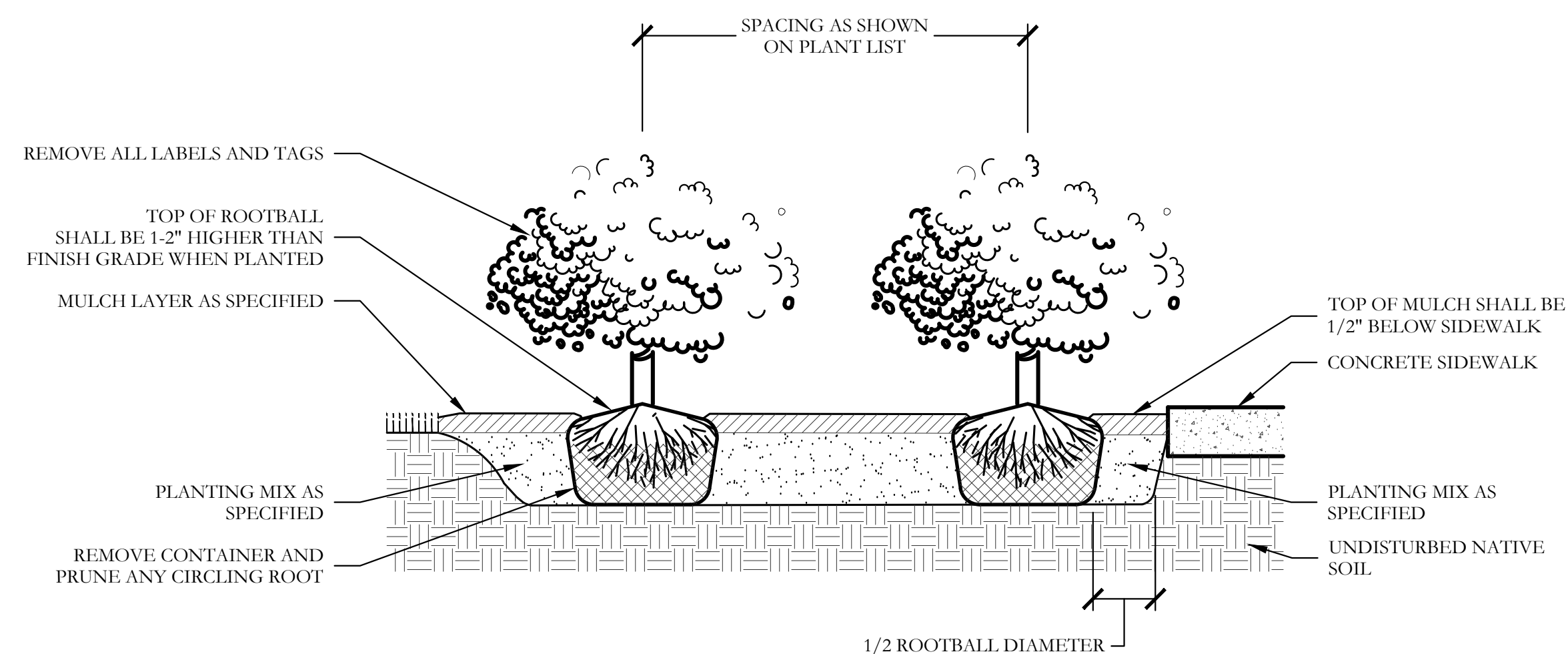
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: John King Blvd, Rockwall, TX 75087  
 SUBDIVISION: Park Hills : ABS A 0183, G W Redlin Tract 1, 6-1, 6      LOT      BLOCK  
 GENERAL LOCATION: Southwest of Intersection at John King Blvd & Williams Street (Hwy 66)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Planned Development PD-97      CURRENT USE: Planned Development PD-97  
 PROPOSED ZONING:      PROPOSED USE:  
 ACREAGE: 65.309      LOTS [CURRENT]: 152      LOTS [PROPOSED]:

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Qualico Developments (US), Inc.	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	John Vick	CONTACT PERSON	Meredith Joyce
ADDRESS	6950 TPC Drive, Suite 350	ADDRESS	767 Justin Road
CITY, STATE & ZIP	McKinney, TX 75070	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	469-769-6150	PHONE	512-694-6394
E-MAIL	John.Vick@qualico.com	E-MAIL	meredith@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

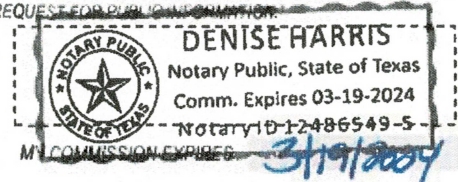
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1556.18 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF April, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF April, 2023

OWNER'S SIGNATURE

*John Vick*  
*[Signature]*

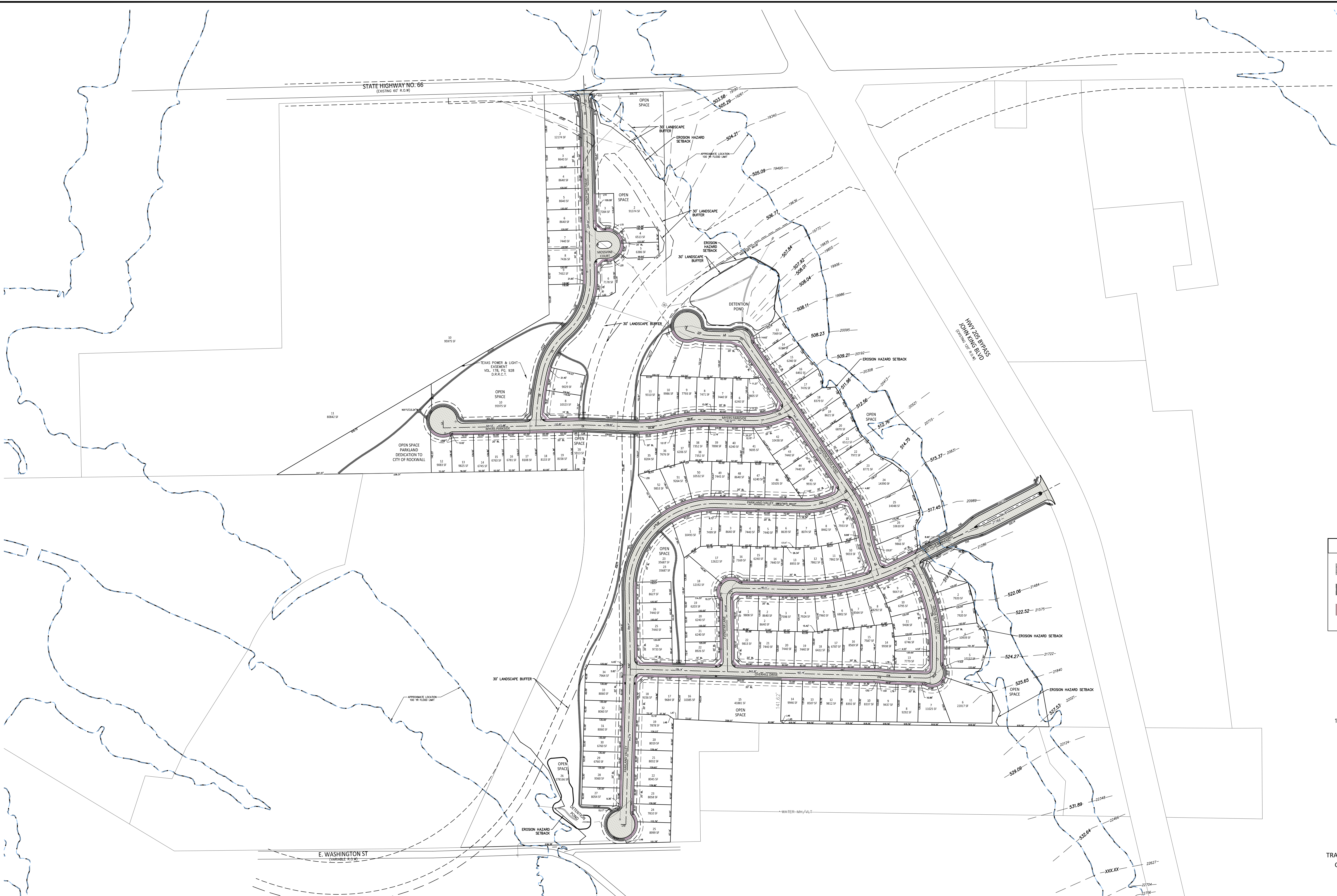
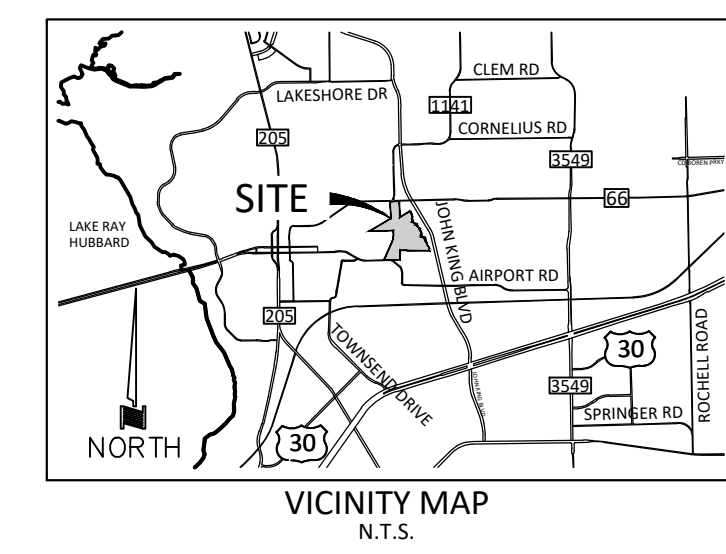
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





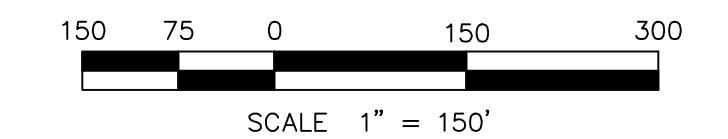
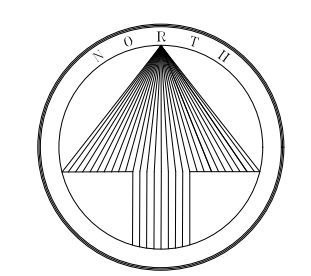






**LEGEND**

	6" PAVEMENT
	SIDEWALK (DEVELOPER)
	SIDEWALK (BUILDER)



**SITE PLAN  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
 LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
 65.309 ACRES OR 2,844,879.13 SF  
 144 SINGLE FAMILY LOTS AND  
 12 OPEN SPACE LOTS  
 SITUATED WITHIN  
 TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
 GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS  
 P2022-047  
 March 6, 2023

**BENCHMARKS**

CITY OF ROCKWALL MONUMENT NO. COR-10:  
 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE  
 AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF  
 VILLAGUE LANE AND LAGUNA DRIVE.  
 ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11:  
 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT  
 THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS  
 ROAD WITH THE SOUTHEAST LINE OF I-30.  
 ELEVATION = PLAN 565.98' FIELD 566.02'

**SITE PLAN SIGNATURE BLOCK:**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE  
 CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE  
 CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

**Owner/Applicant:**  
 Qualico Developments (U.S), Inc.  
 6950 TPC Drive, Suite 350  
 McKinney, TX 78660

**Engineer/Surveyor:**  
 Johnson Volk Consulting, Inc.  
 704 Central Parkway East, Suite. 1200  
 Plano, Texas 75074  
 Phone: 972-201-3102  
 Contact: Joel Richey, PE





**GENERAL CONSTRUCTION NOTES**

1. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
3. TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUTTABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
4. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
6. CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
7. ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
10. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
11. THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
14. CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
15. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
16. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
17. UNSALABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
18. CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
19. EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
20. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

# CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~PARK HILLS~

CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: March 21, 2023



LOCATION MAP  
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L16	LANDSCAPE PLANS
L17-L18	LANDSCAPE DETAILS
L19-L23	HARDSCAPE DETAILS
IR1-IR15	IRRIGATION PLANS
IR16	IRRIGATION DETAILS

**OWNER / DEVELOPER:**

QUALICO DEVELOPMENTS (U.S), INC  
6950 TPC DRIVE, SUITE 350  
MCKINNEY, TX 78660

**CIVIL ENGINEER:**

JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE  
1200 PLANO, TEXAS 75074  
PH 972-201-3100

**LANDSCAPE ARCHITECT:**

JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE 1200  
PLANO, TEXAS 75074  
PH. 972-201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI

**GENERAL LANDSCAPE NOTES:**

**INSPECTIONS:**

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

**LANDSCAPE STANDARDS:**

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

**IRRIGATION STANDARDS:**

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

**MAINTENANCE STANDARDS:**

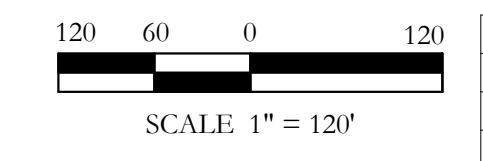
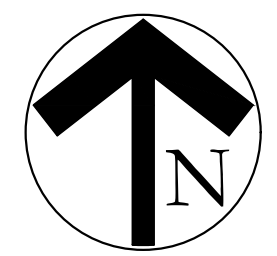
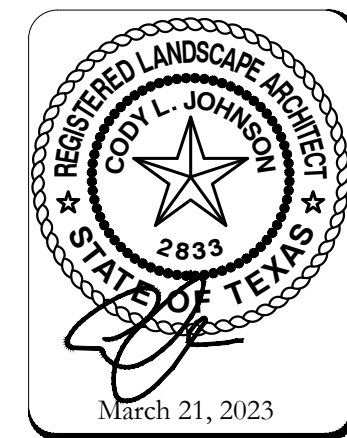
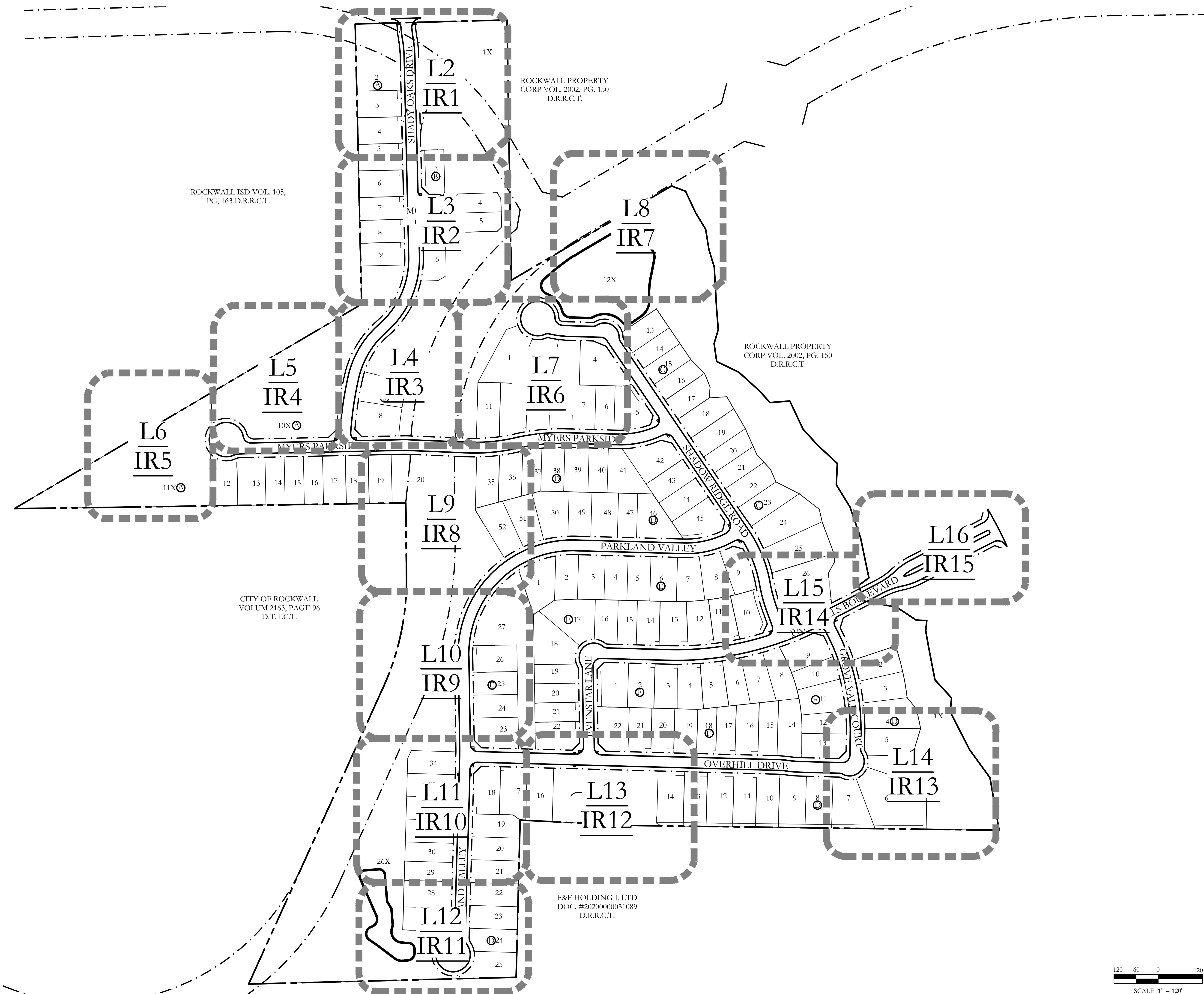
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

**TREE PROTECTION NOTES:**

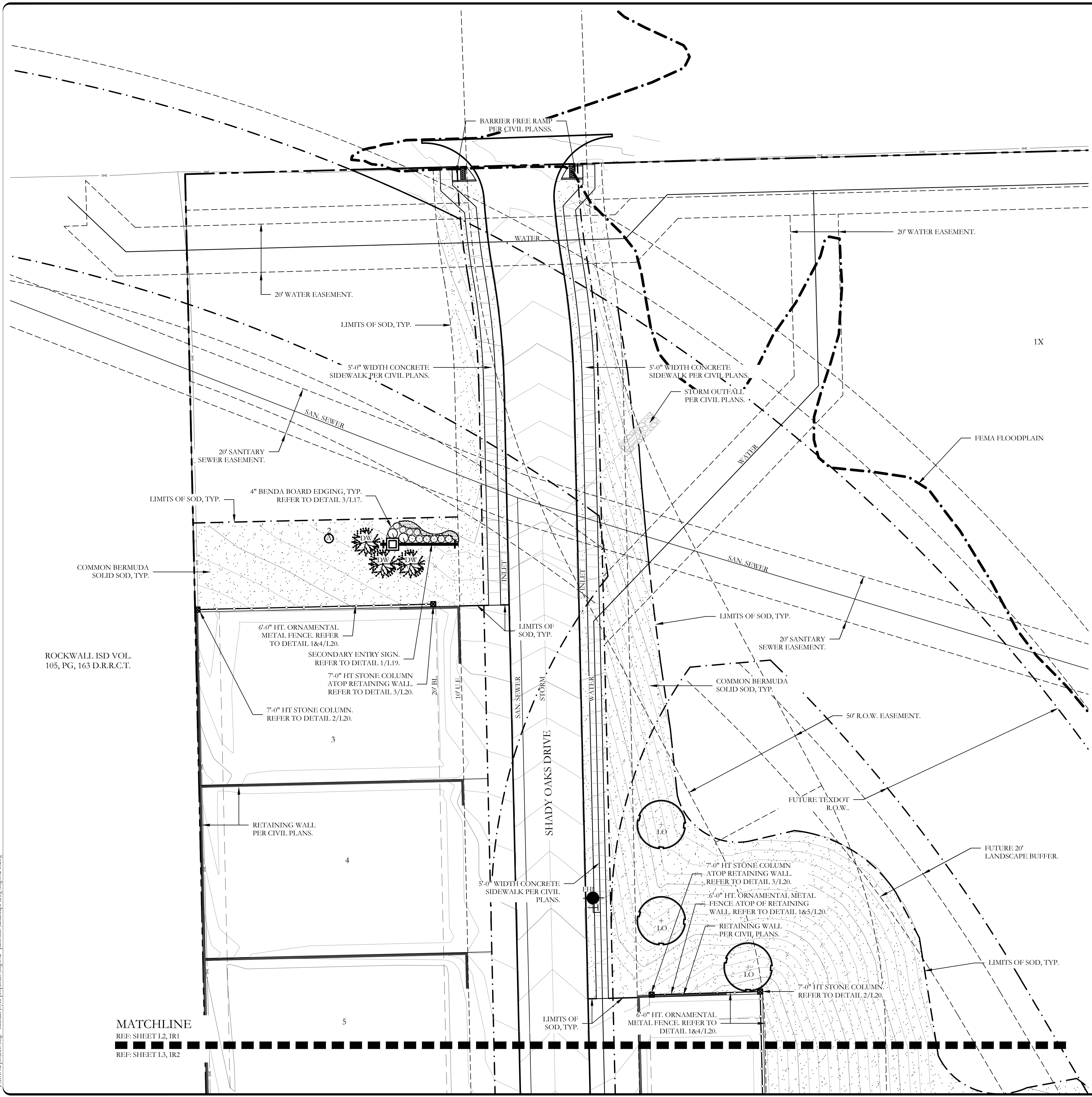
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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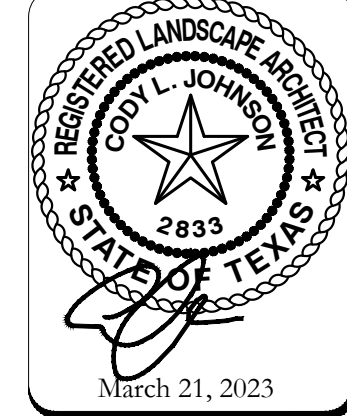
### HARDSCAPE LEGEND

- MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
- 7'-0" HT. STONE COLUMN.  
REFER TO DETAIL 2/L20.
- 6'-0" HT. ORNAMENTAL METAL FENCE.  
REFER TO DETAIL 1&4/L20.
- 7'-0" HT. STONE COLUMN ATOP OF  
RETAINING WALL. REFER TO DETAIL  
3/L20.
- 6'-0" HT. ORNAMENTAL METAL FENCE  
ATOP OF RETAINING WALL. REFER TO  
DETAIL 1&5/L20.
- 4'-0" HT. SPLIT RAIL FENCE. REFER TO  
DETAIL 4/L21.

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERGAE AT 70% DENSITY



SCALE 1" = 20'

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**MATCHLINE**  
 REF: SHEET L2, 1R1  
 REF: SHEET L3, 1R2

ROCKWALL ISD VOL.  
 105, PG. 163 D.R.R.C.T.



MATCHLINE

REF: SHEET L2, IR1

REF: SHEET L3, IR2

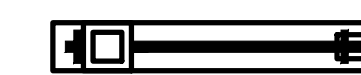


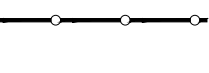



ROCKWALL ISD VOL. 105, PG. 163 D.R.R.C.T.

MATCHLINE

REF: SHEET L3, IR2

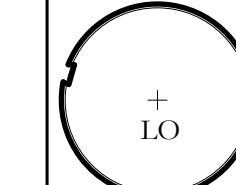
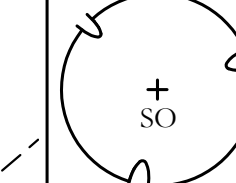
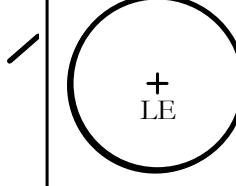
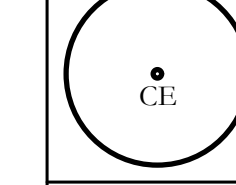
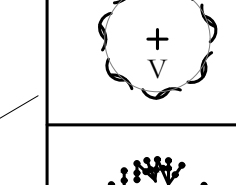
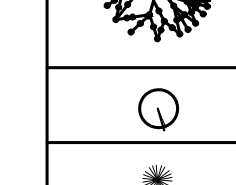
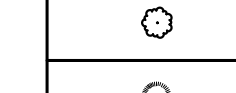








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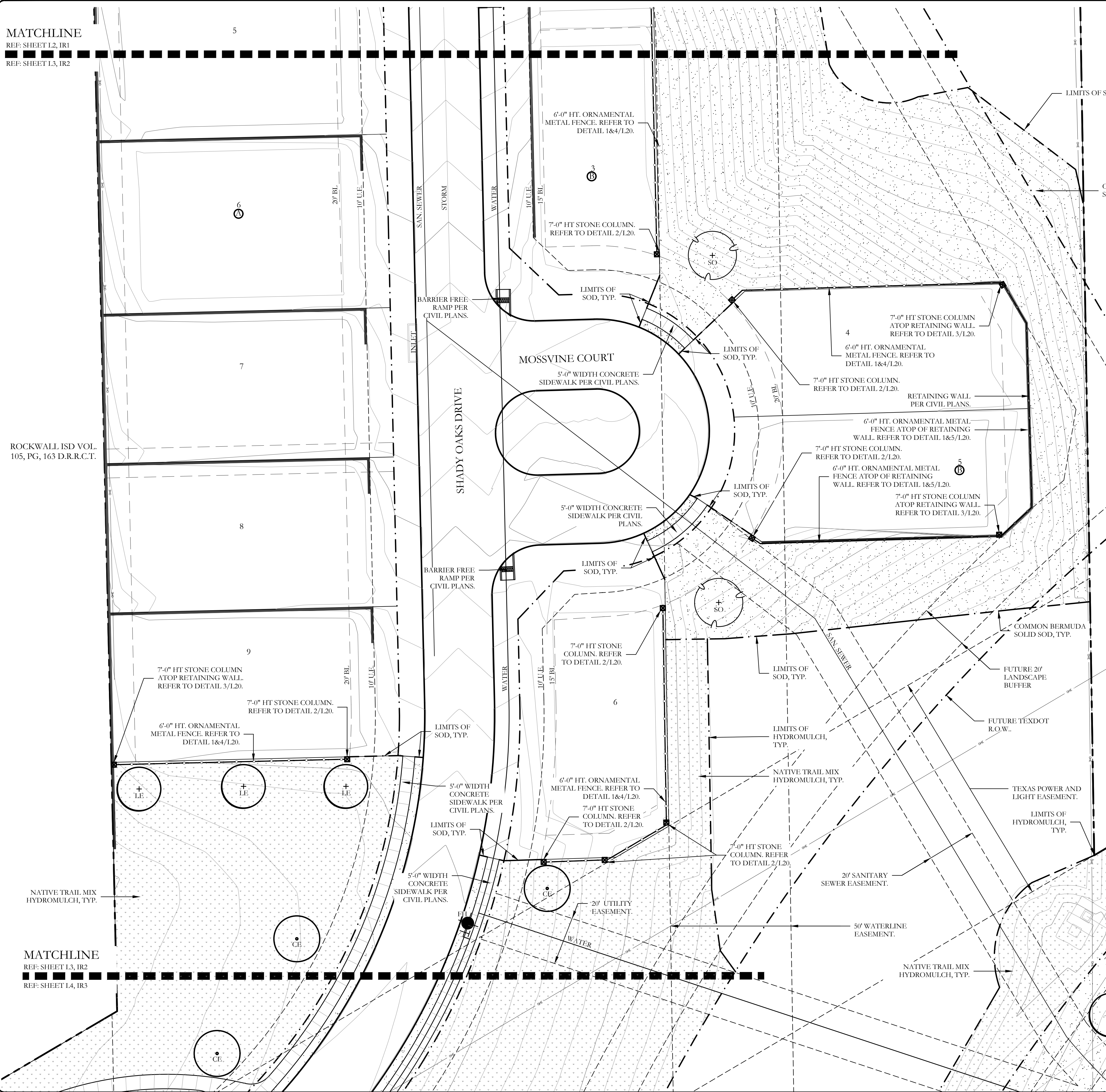
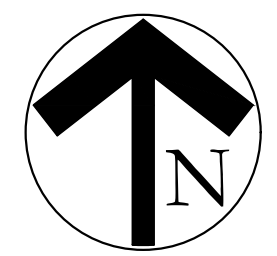
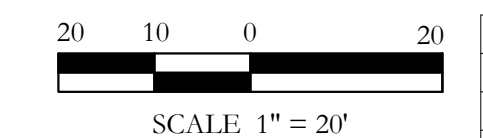
### HARDSCAPE LEGEND

-  MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
-  SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
-  7'-0" HT. STONE COLUMN.  
REFER TO DETAIL 2/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE.  
REFER TO DETAIL 1&4/L20.
-  7'-0" HT. STONE COLUMN ATOP OF  
RETAINING WALL. REFER TO DETAIL  
3/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE  
ATOP OF RETAINING WALL. REFER TO  
DETAIL 1&5/L20.
-  4'-0" HT. SPLIT RAIL FENCE. REFER TO  
DETAIL 4/L21.

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

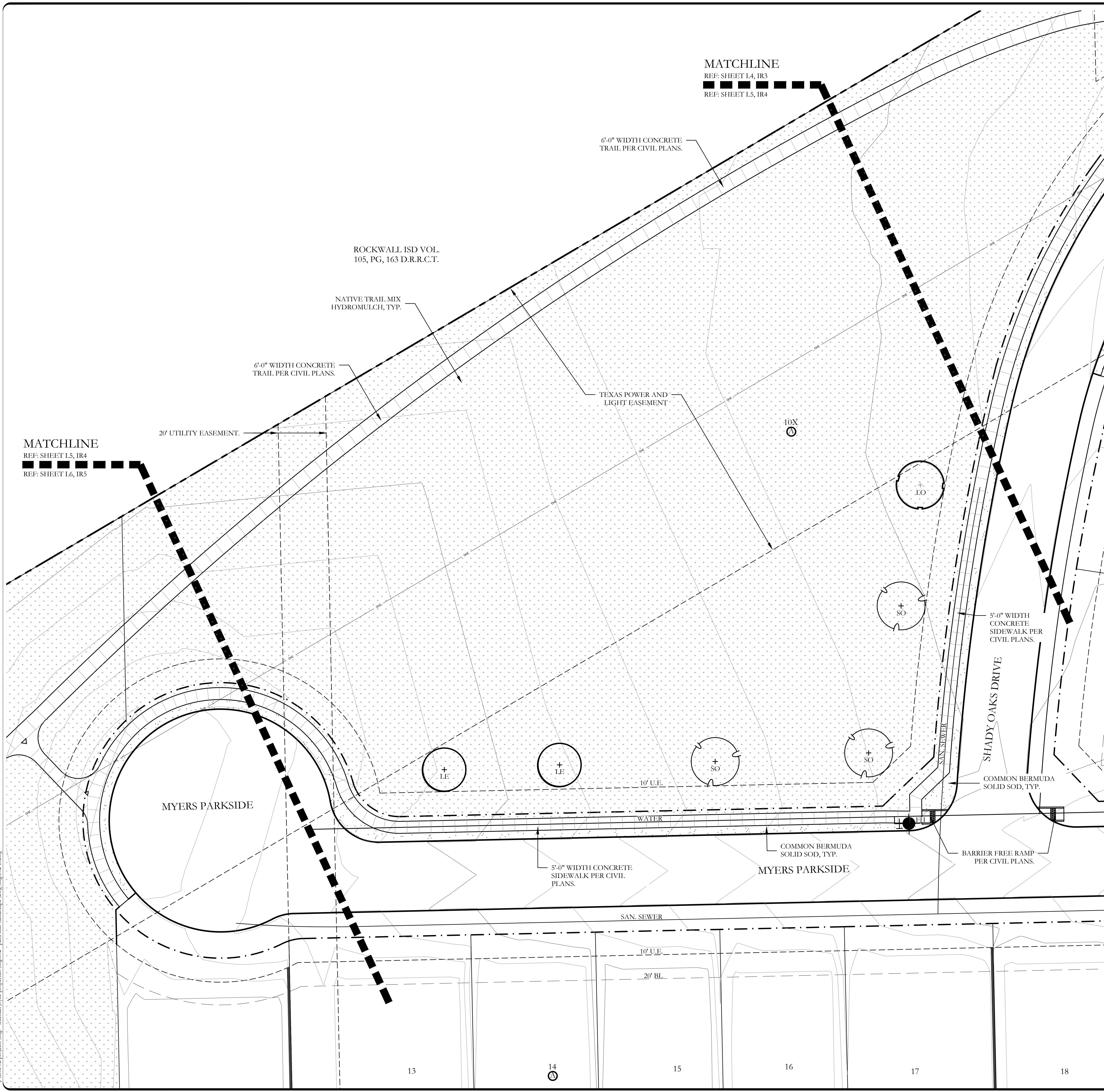
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		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY











### HARDSCAPE LEGEND

	MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
	SECONDARY ENTRY SIGN REFER TO DETAILS 1/L19.
	7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/L20.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 1&4/L20.
	7'-0" HT. STONE COLUMN ATOP OF RETAINING WALL. REFER TO DETAIL 3/L20.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 1&5/L20.
	4'-0" HT. SPLIT RAIL FENCE. REFER TO DETAIL 4/L21.

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

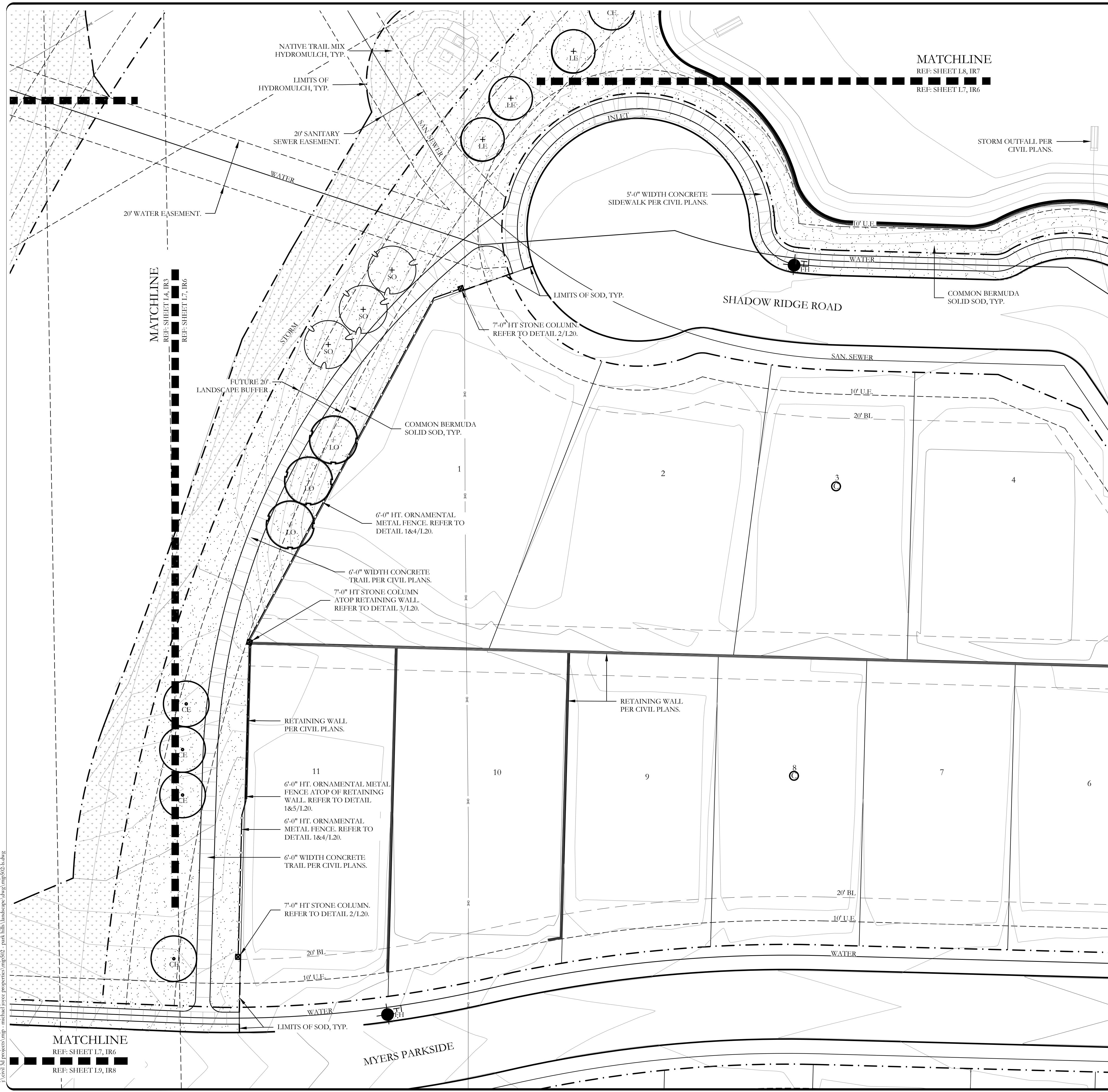


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### HARDSCAPE LEGEND

- MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
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NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

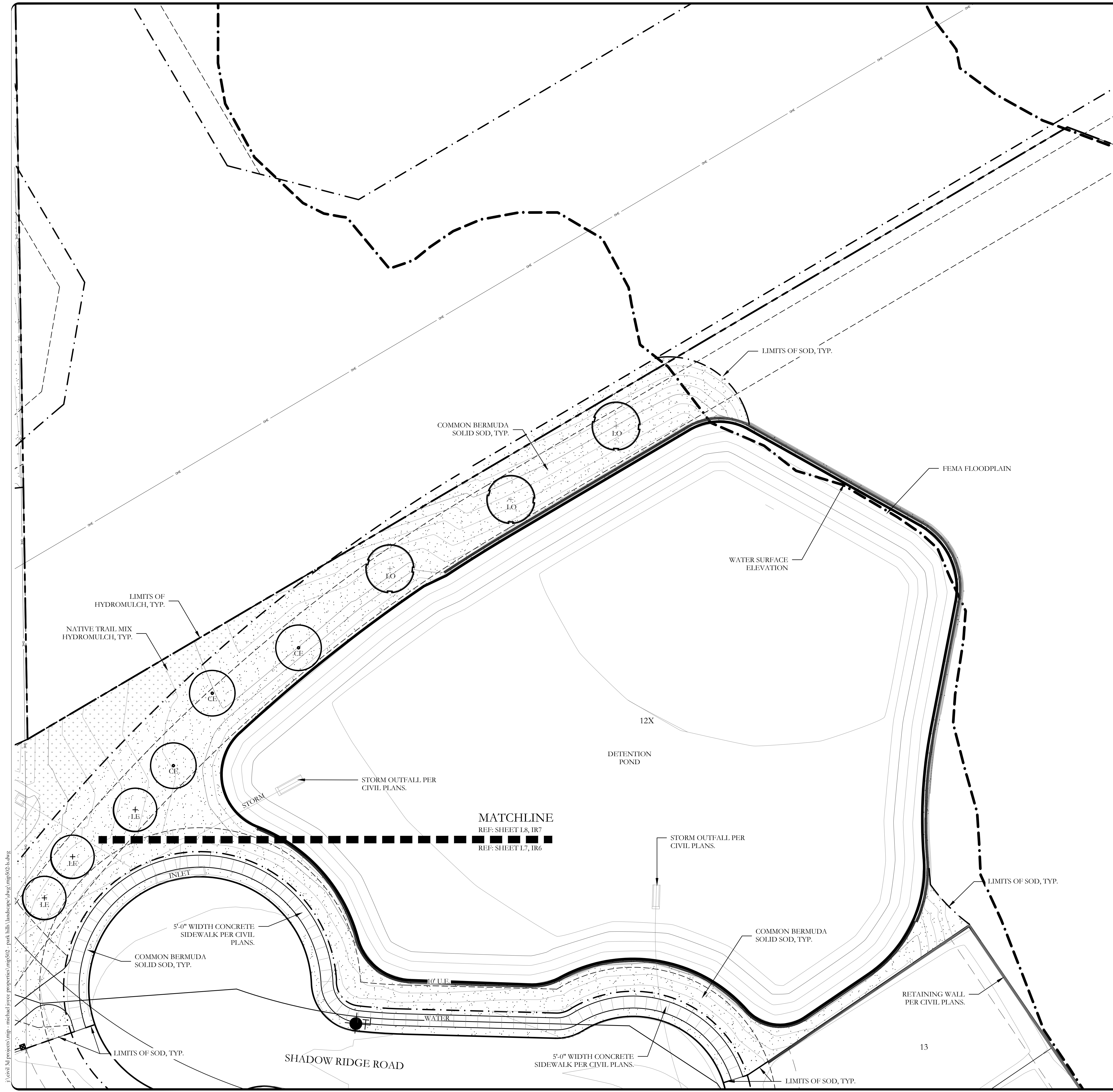
### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY



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### HARDSCAPE LEGEND

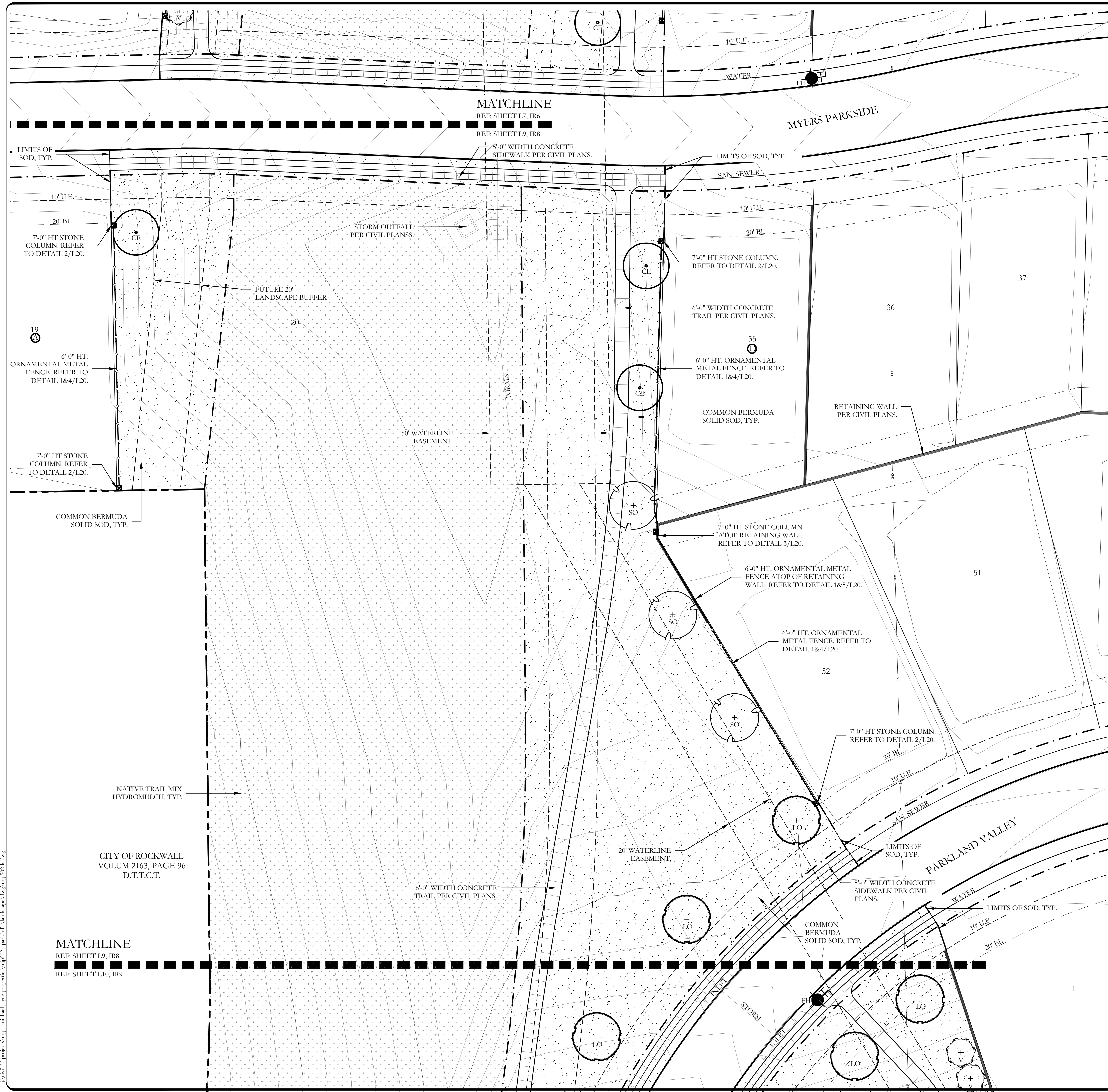
	MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
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	7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/L20.
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	4'-0" HT. SPLIT RAIL FENCE. REFER TO DETAIL 4/L21.

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERGAE AT 70% DENSITY





### HARDSCAPE LEGEND

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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
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	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
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CITY OF ROCKWALL  
 VOLUM 2163, PAGE 96  
 D.T.T.C.T.

MATCHLINE  
 REF: SHEET L9, IR8  
 REF: SHEET L10, IR9



**MATCHLINE**

REF: SHEET L9, IR8

REF: SHEET L10, IR9

NATIVE TRAIL MIX  
HYDROMULCH, TYP.

CITY OF ROCKWALL  
VOLUM 2163, PAGE 96  
D.T.T.C.T.








NATIVE TRAIL MIX  
HYDROMULCH, TYP.

**MATCHLINE**

REF: SHEET L10, IR9

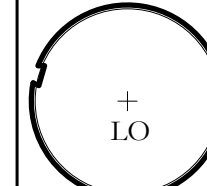
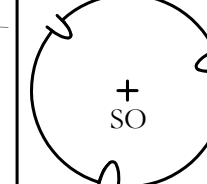
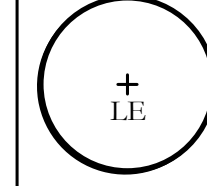
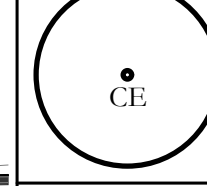
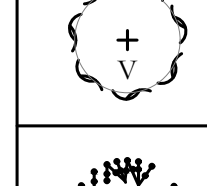
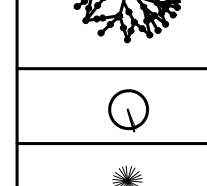
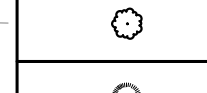








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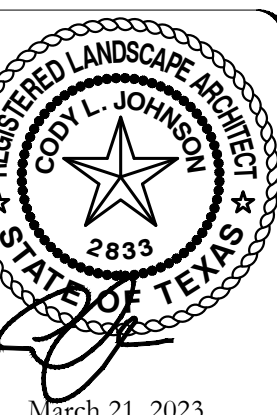
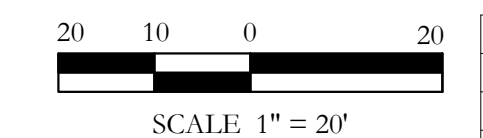
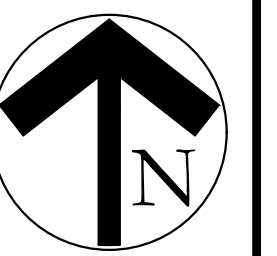
**HARDSCAPE LEGEND**

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REFER TO DETAILS 1/L18.
-  SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
-  7'-0" HT. STONE COLUMN.  
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NOTE:  
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**PLANT LEGEND**

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
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		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERGAE AT 70% DENSITY




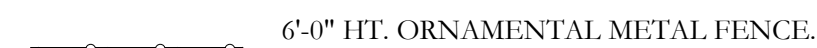

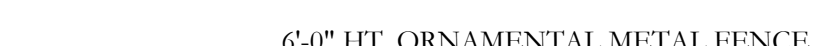





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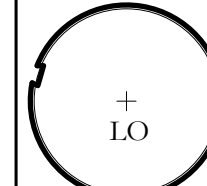
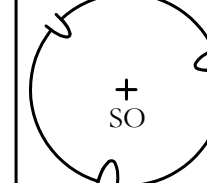
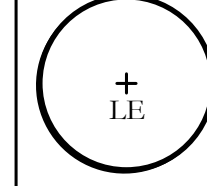
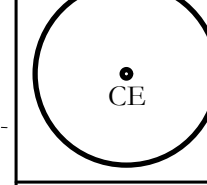
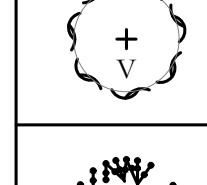
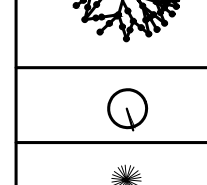
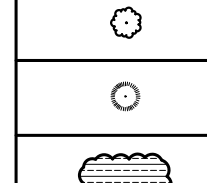
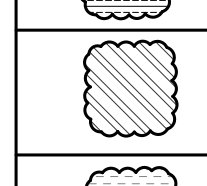
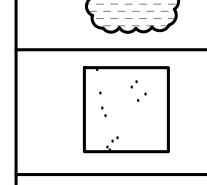
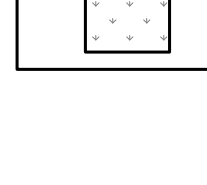



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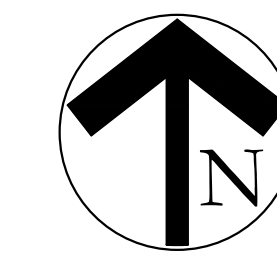
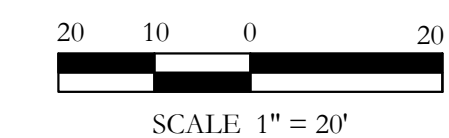
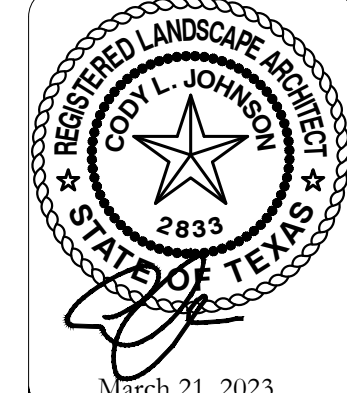
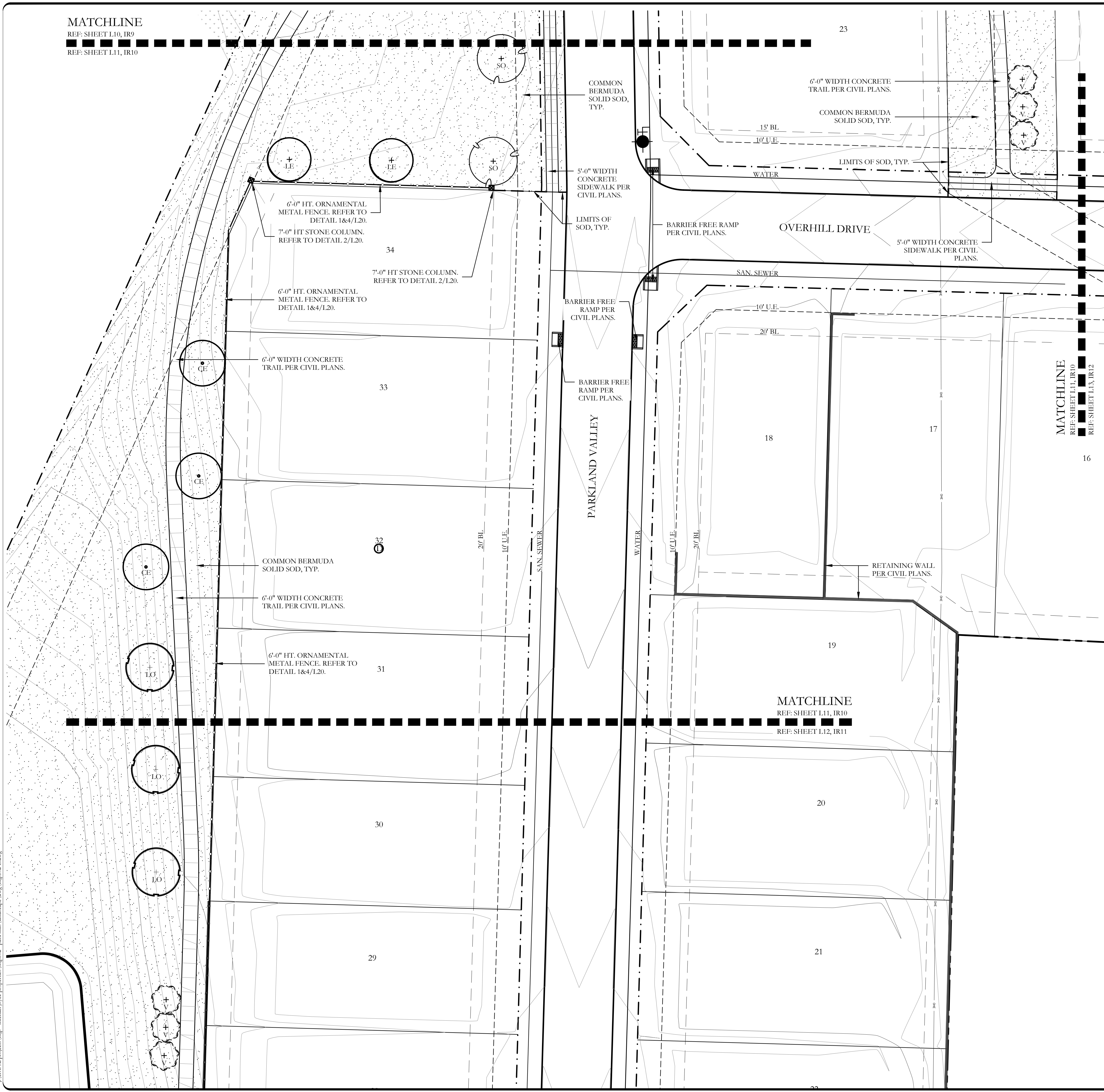
**HARDSCAPE LEGEND**

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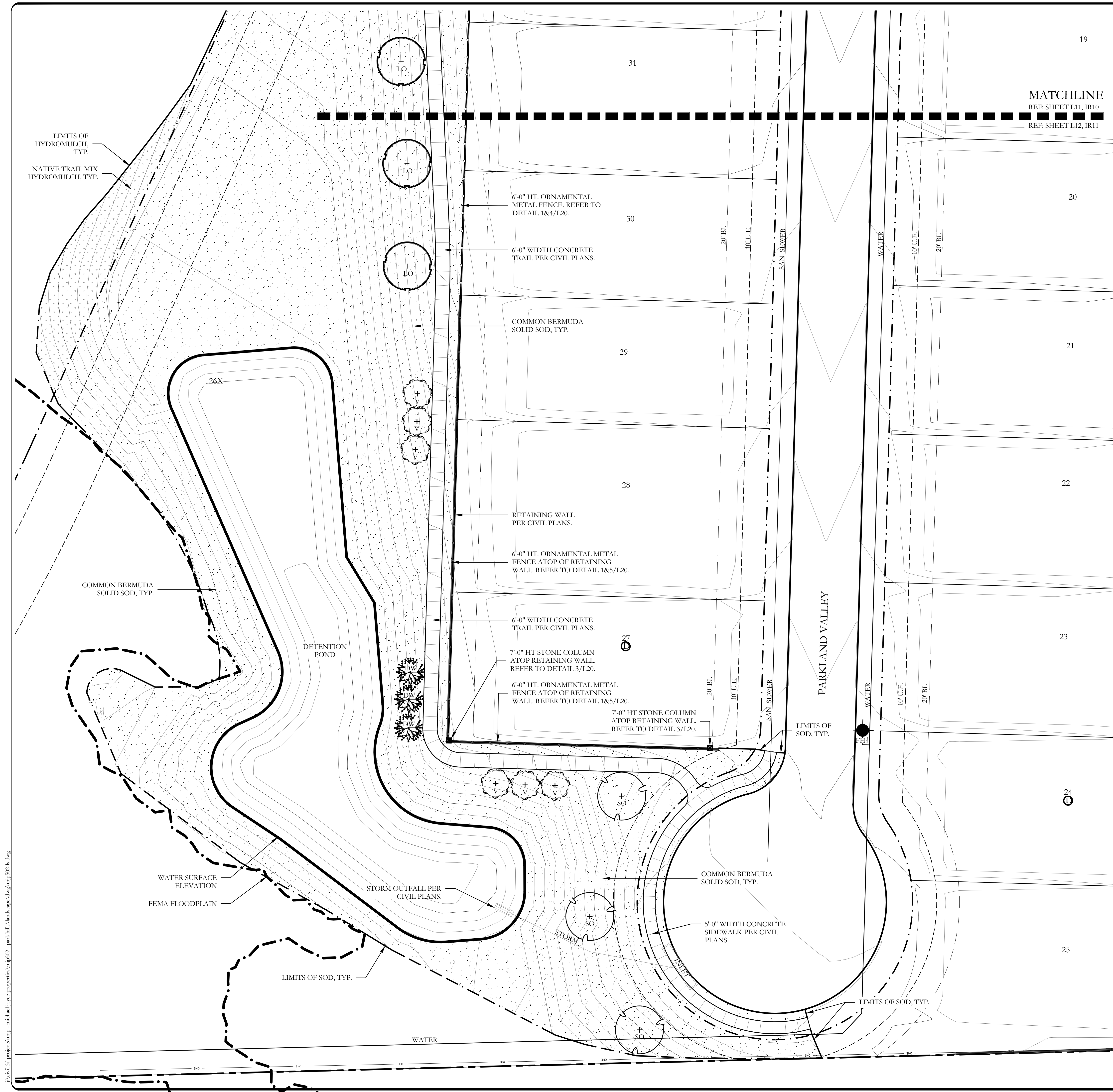
**PLANT LEGEND**

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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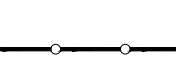


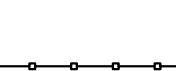


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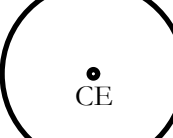
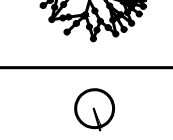





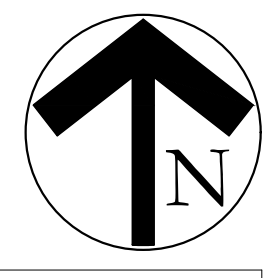
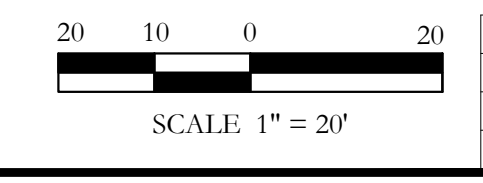
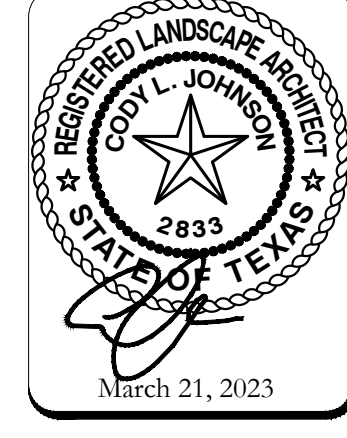
### HARDSCAPE LEGEND

-  MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
-  SECONDARY ENTRY SIGN  
REFER TO DETAILS 1/L19.
-  7'-0" HT. STONE COLUMN.  
REFER TO DETAIL 2/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE.  
REFER TO DETAIL 1&4/L20.
-  7'-0" HT. STONE COLUMN ATOP OF  
RETAINING WALL. REFER TO DETAIL  
3/L20.
-  6'-0" HT. ORNAMENTAL METAL FENCE  
ATOP OF RETAINING WALL. REFER TO  
DETAIL 1&5/L20.
-  4'-0" HT. SPLIT RAIL FENCE. REFER TO  
DETAIL 4/L21.

NOTE:  
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING  
WALL AND SIDEWALK LAYOUT AND DETAILS.

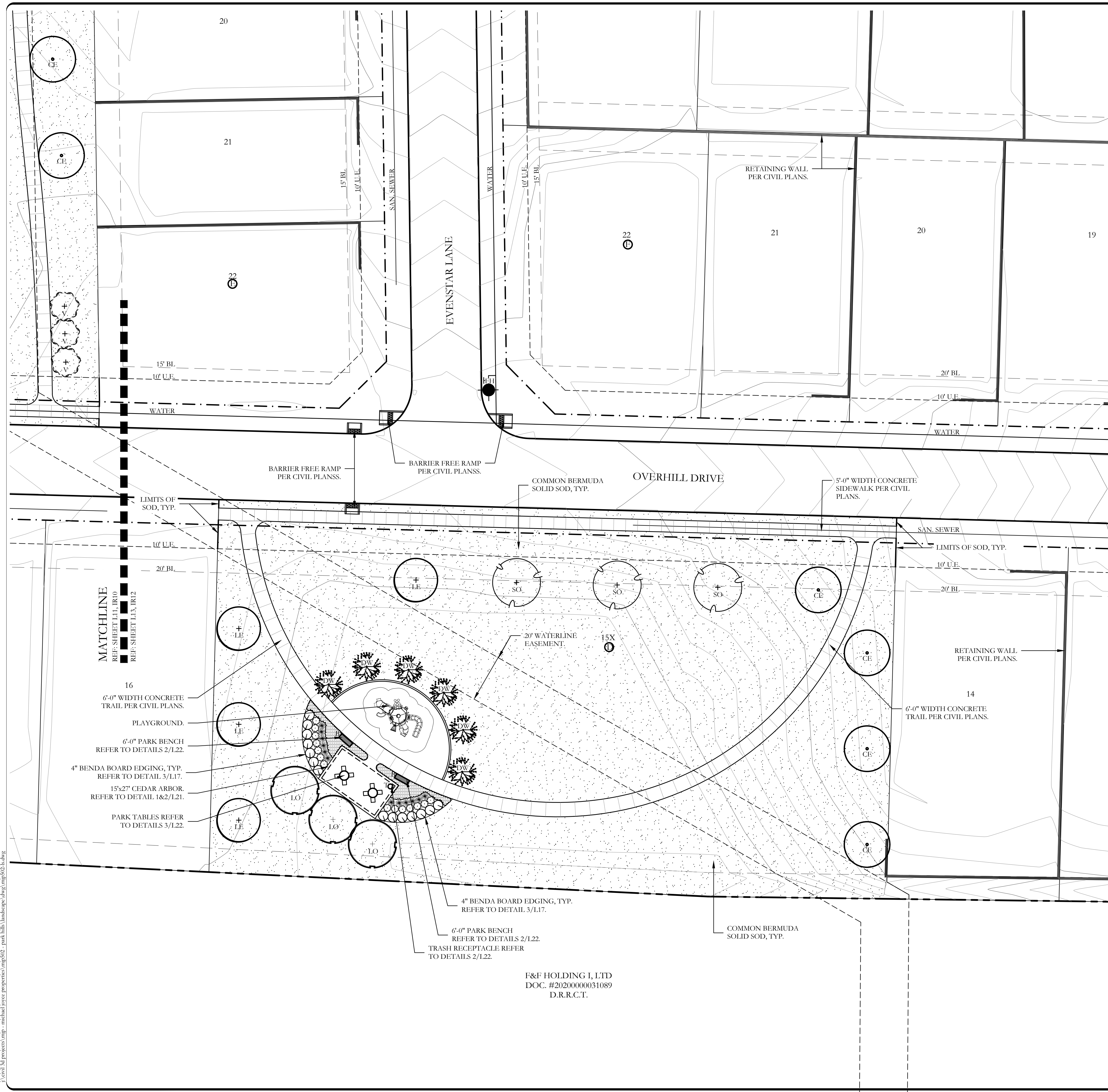
### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERGAGE AT 70% DENSITY



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### HARDSCAPE LEGEND

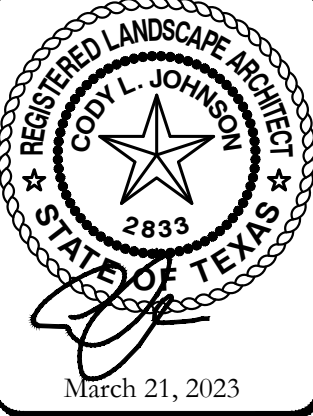
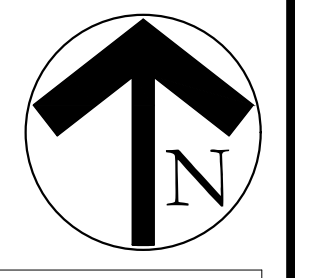
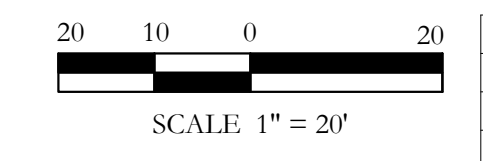
- MAIN ENTRY SIGN  
REFER TO DETAILS 1/L18.
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NOTE:  
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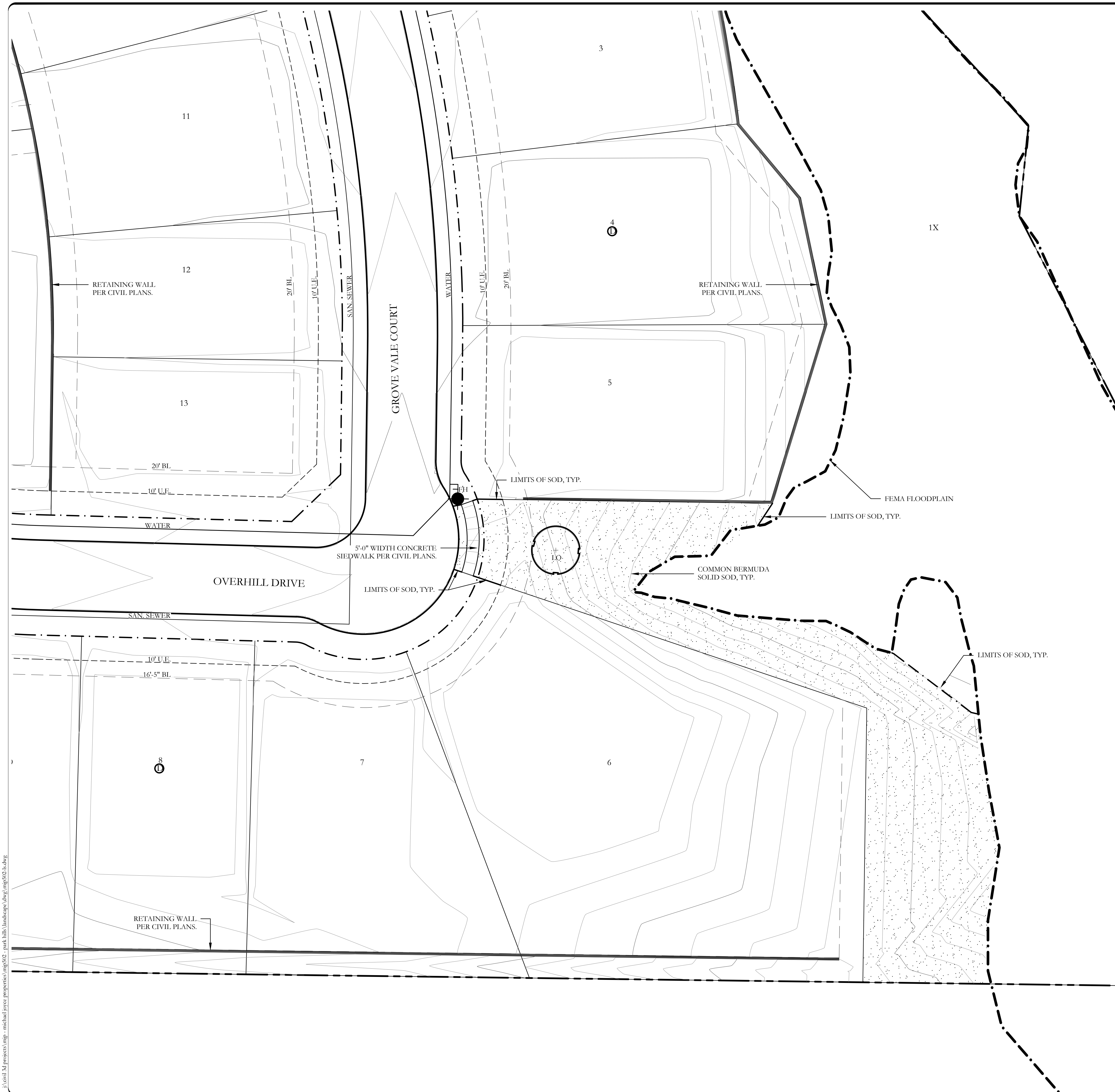
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	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
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		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
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		GULF MUHL Y GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

F&F HOLDING I, LTD  
DOC. #20200000031089  
D.R.R.C.T.







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REFER TO DETAILS 1/L18.
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NOTE:  
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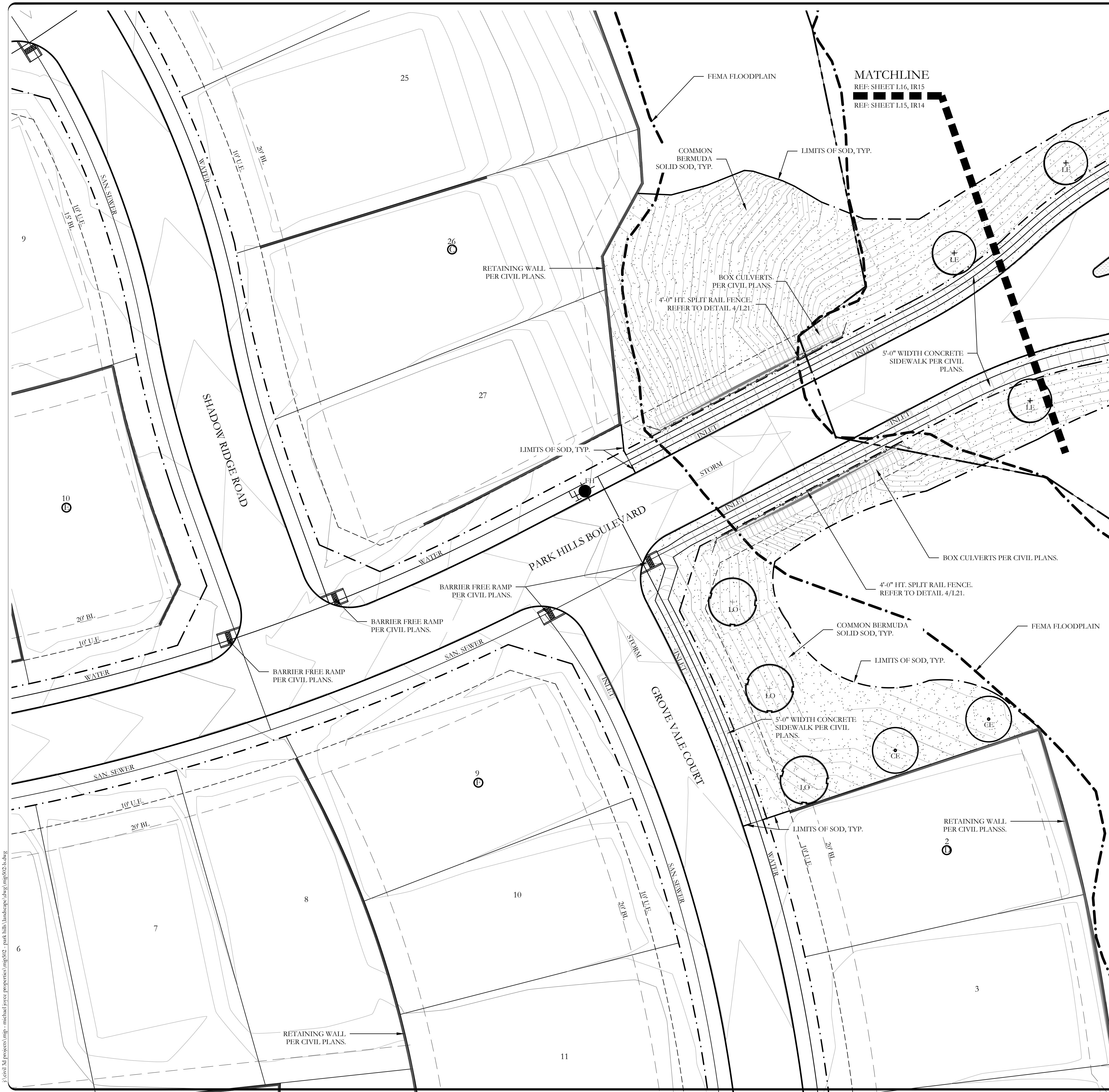
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		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

SCALE 1" = 20'

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### HARDSCAPE LEGEND

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REFER TO DETAILS 1/L18.
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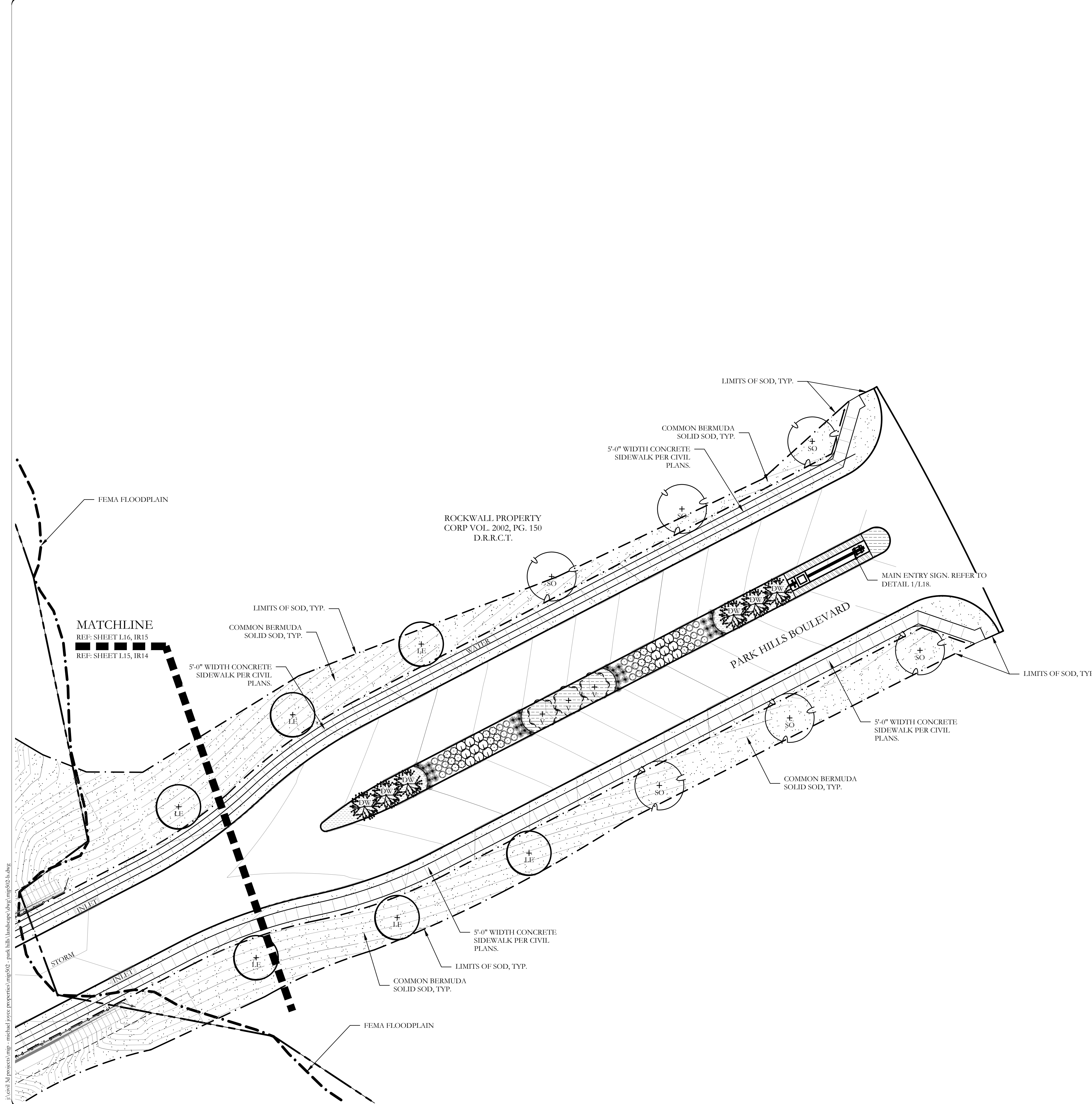
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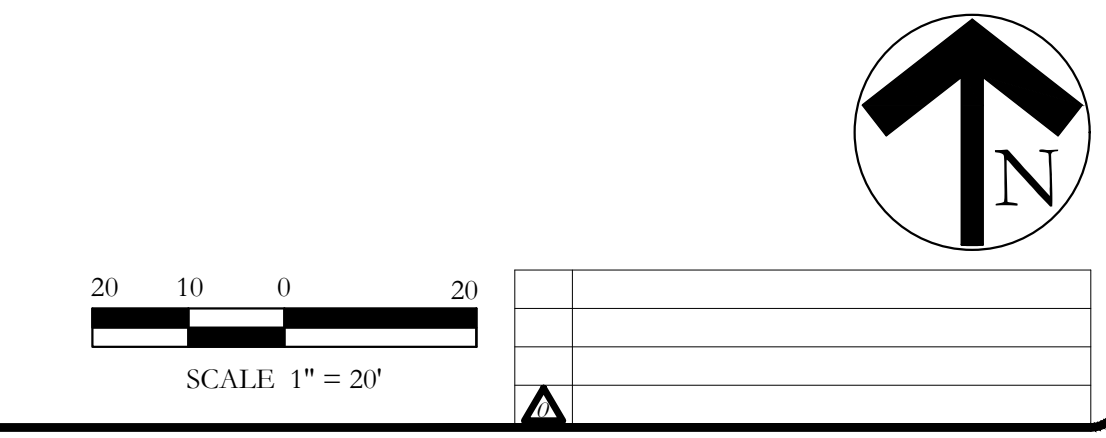
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	7'-0" HT. STONE COLUMN ATOP OF RETAINING WALL. REFER TO DETAIL 3/L20.
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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERGAGE AT 70% DENSITY





PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	30	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	33	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	23	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	25	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	21	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	24	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	34	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	44	PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	28	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	407	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	85	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	216	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	325,350	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	263,528	NATIVE TRAIL MIX BY NATIVE AMERICAN SEED CO.		SQUARE FEET	HYDROMULCH	MIN 100% COVERAGE ALL AREAS SHOWN AT 70% DENSITY

### GENERAL LANDSCAPE NOTES

#### INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

#### LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

#### IRRIGATION STANDARDS:

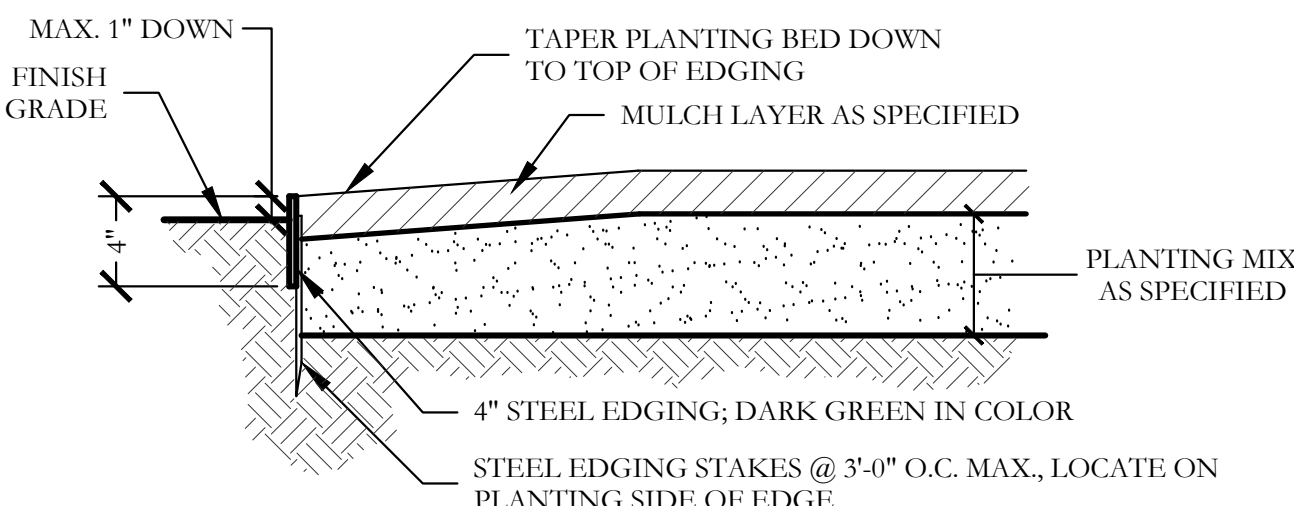
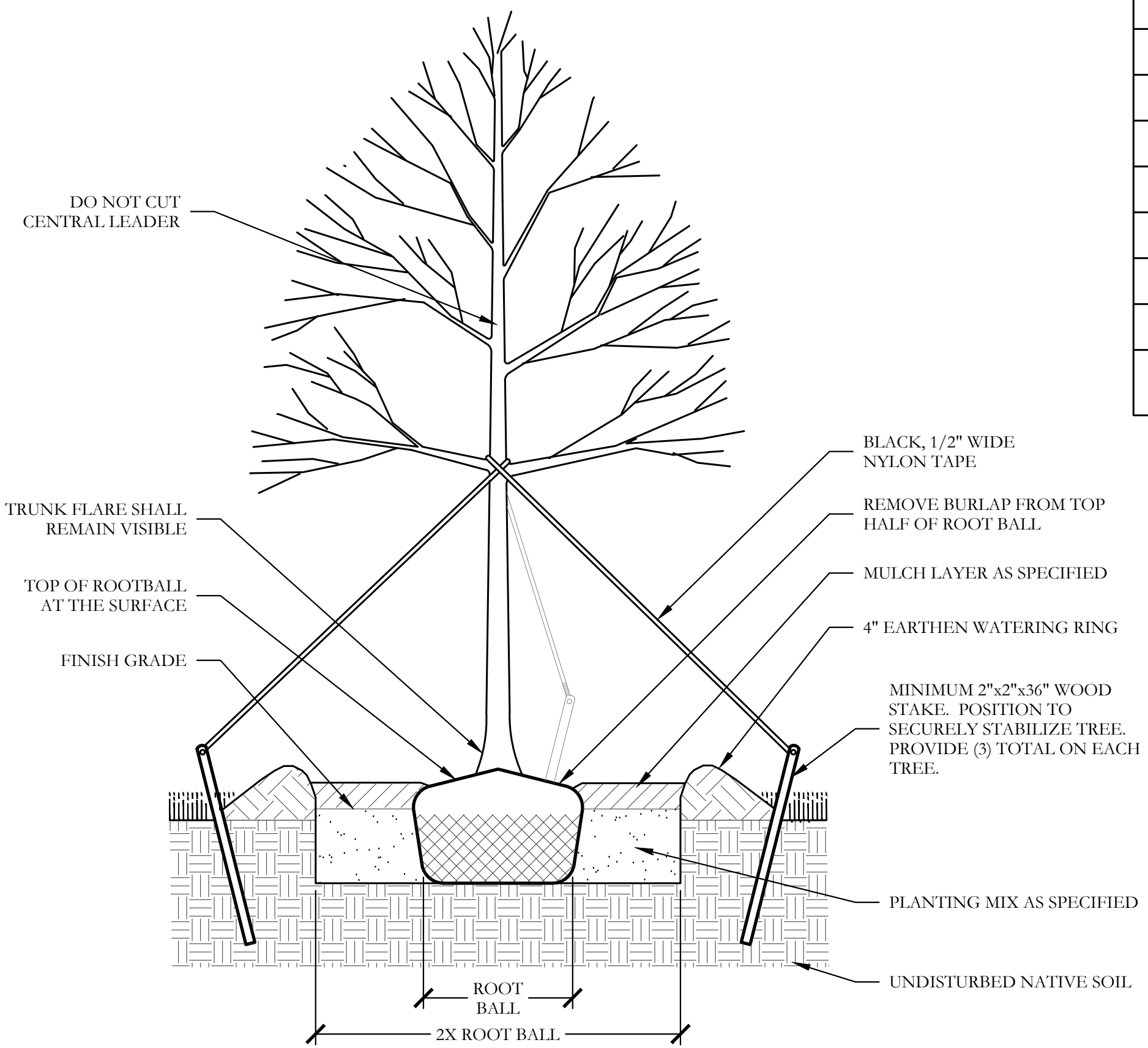
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

#### MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

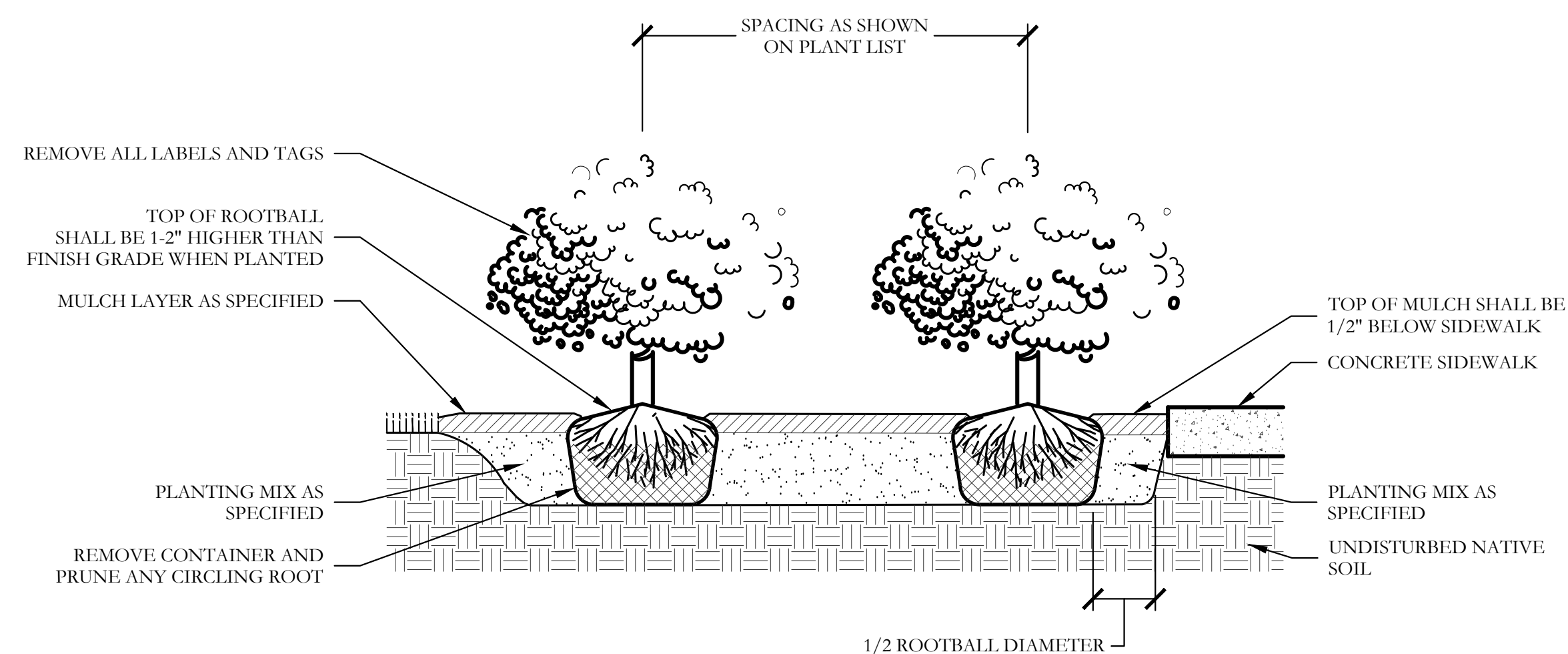
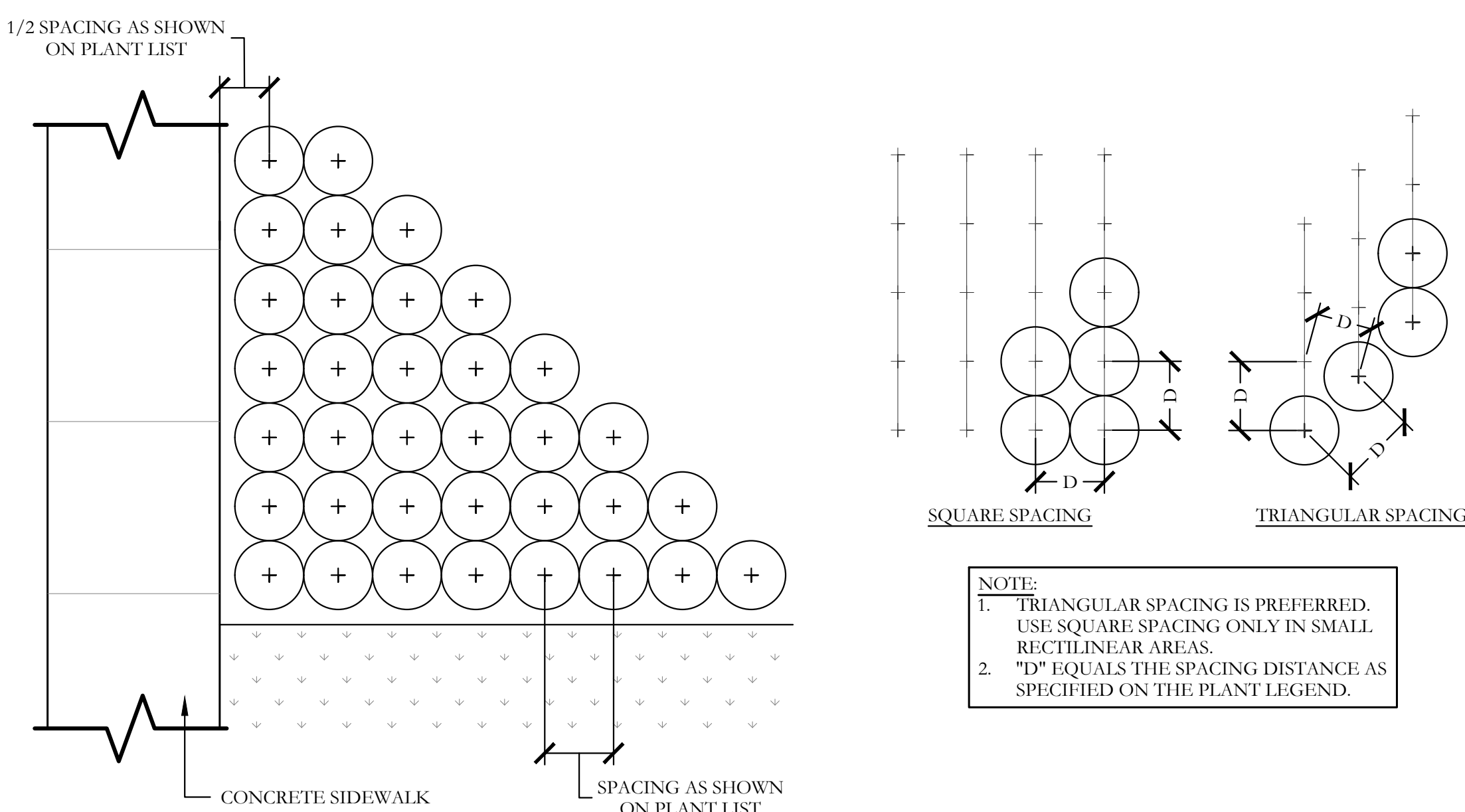
#### TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



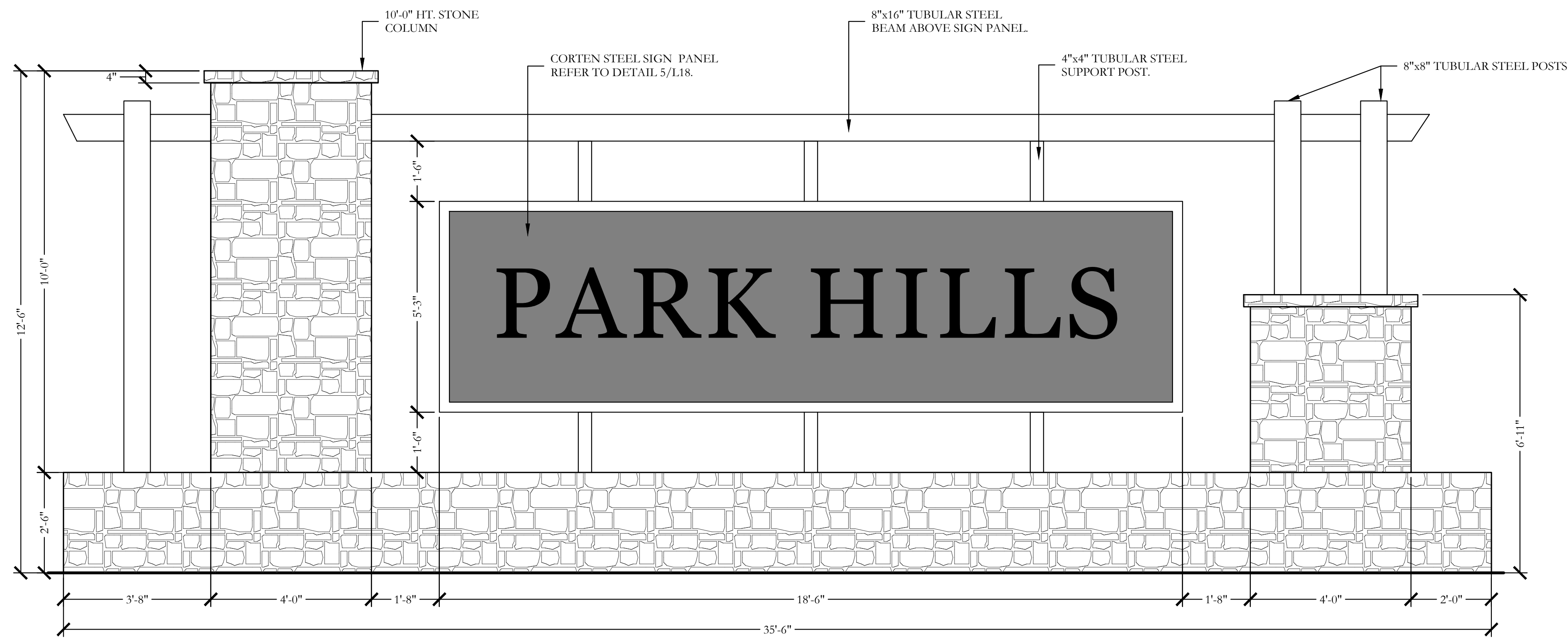
2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

NOT TO SCALE









1 MAIN ENTRY SIGN  
ELEVATION

SCALE: 1/2"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
  - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
  - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
  - CHLORIDES SHALL NOT BE USED.
  - MAXIMUM AGGREGATE SIZE = 1".

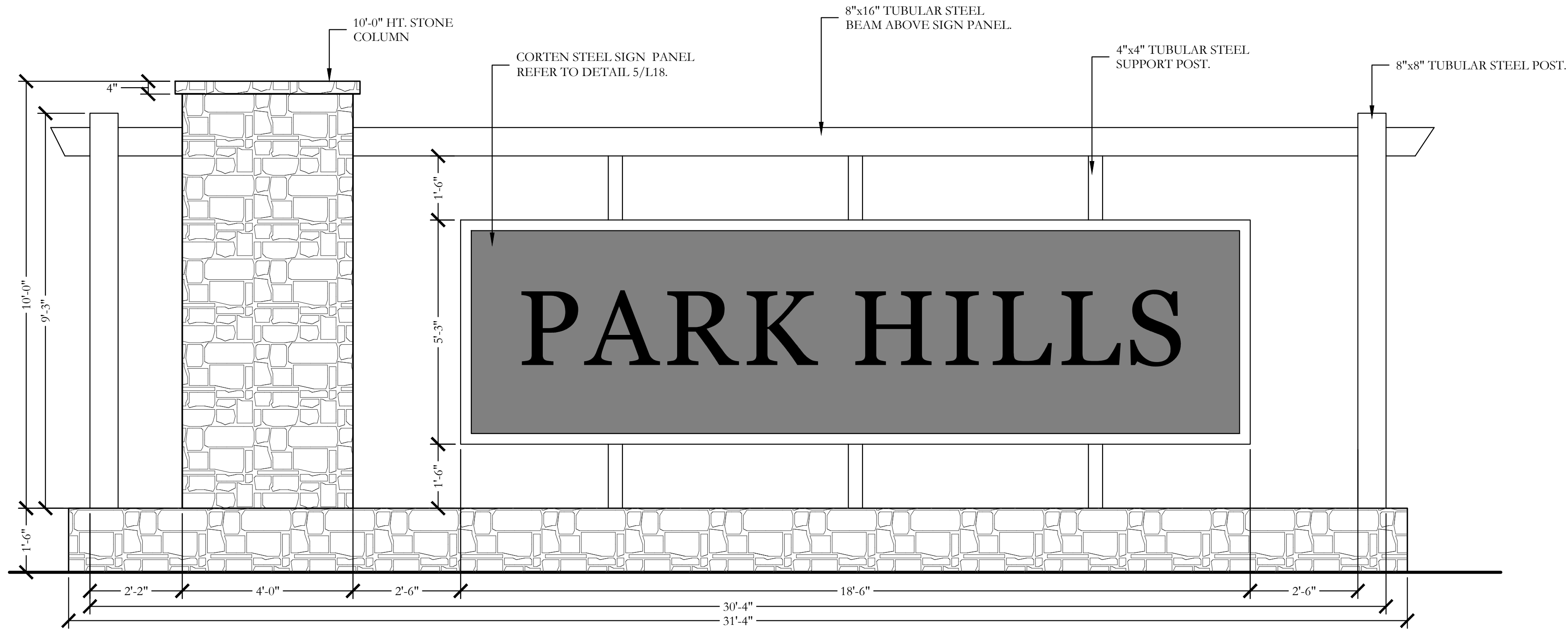
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
  - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
    - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
    - CONCRETE EXPOSED TO EARTH OR WEATHER:
      - (A) BARS LARGER THAN NO. 5: 2 INCHES
      - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
    - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
      - 2.3.1.1. (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
      - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
      - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
      - 2.3.3. SHELLS AND FOLDED PLATES
        - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
        - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
  - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.

- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
  - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
  - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
  - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
  - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.

- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
  - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
  - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
  - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
  - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
  - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
  - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
  - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
  - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
  - PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.

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1 SECONDARY ENTRY SIGN  
ELEVATION

SCALE: 1/2"=1'-0"

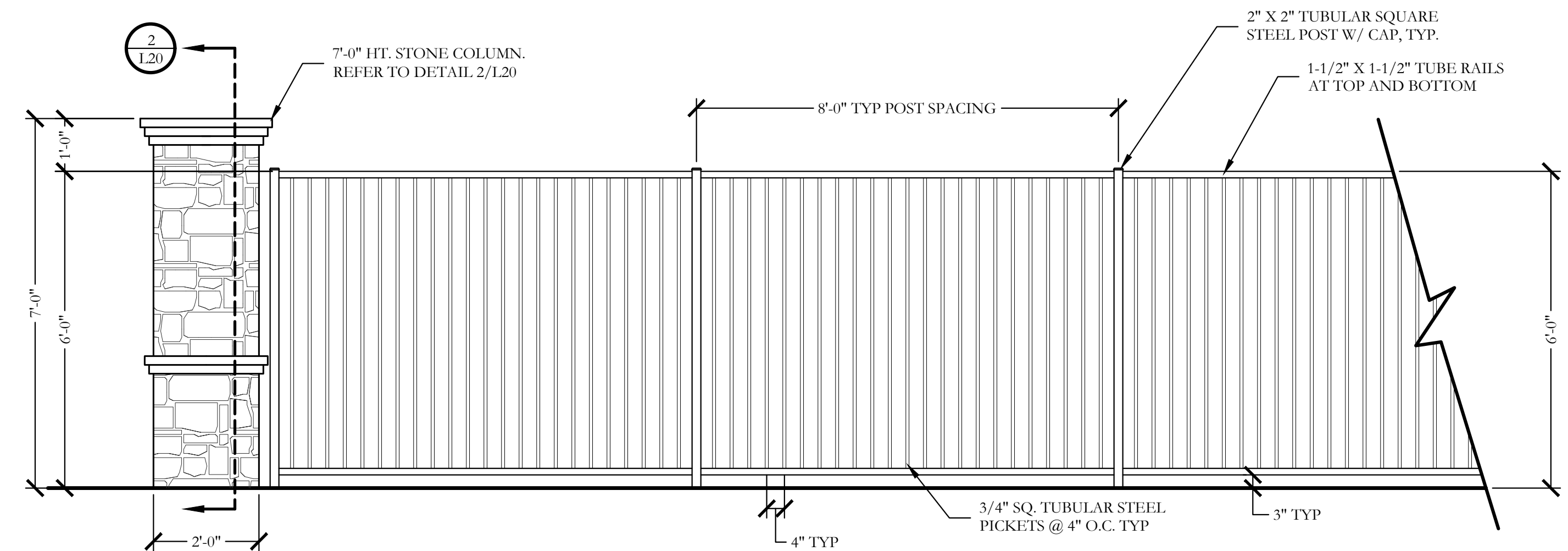
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THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

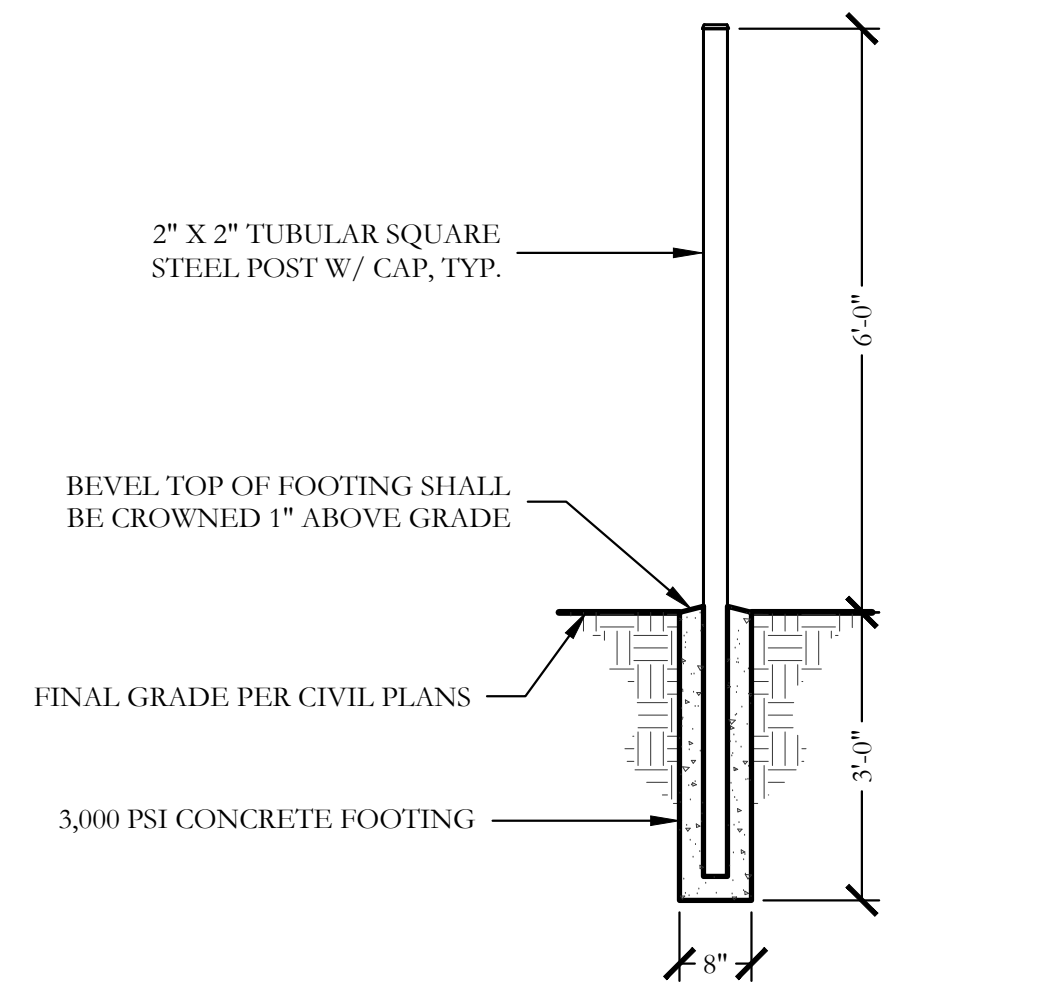
03-21-2023

SCALE:  
 REFER TO DETAILS  
 One Inch  
 JVC No MJP502

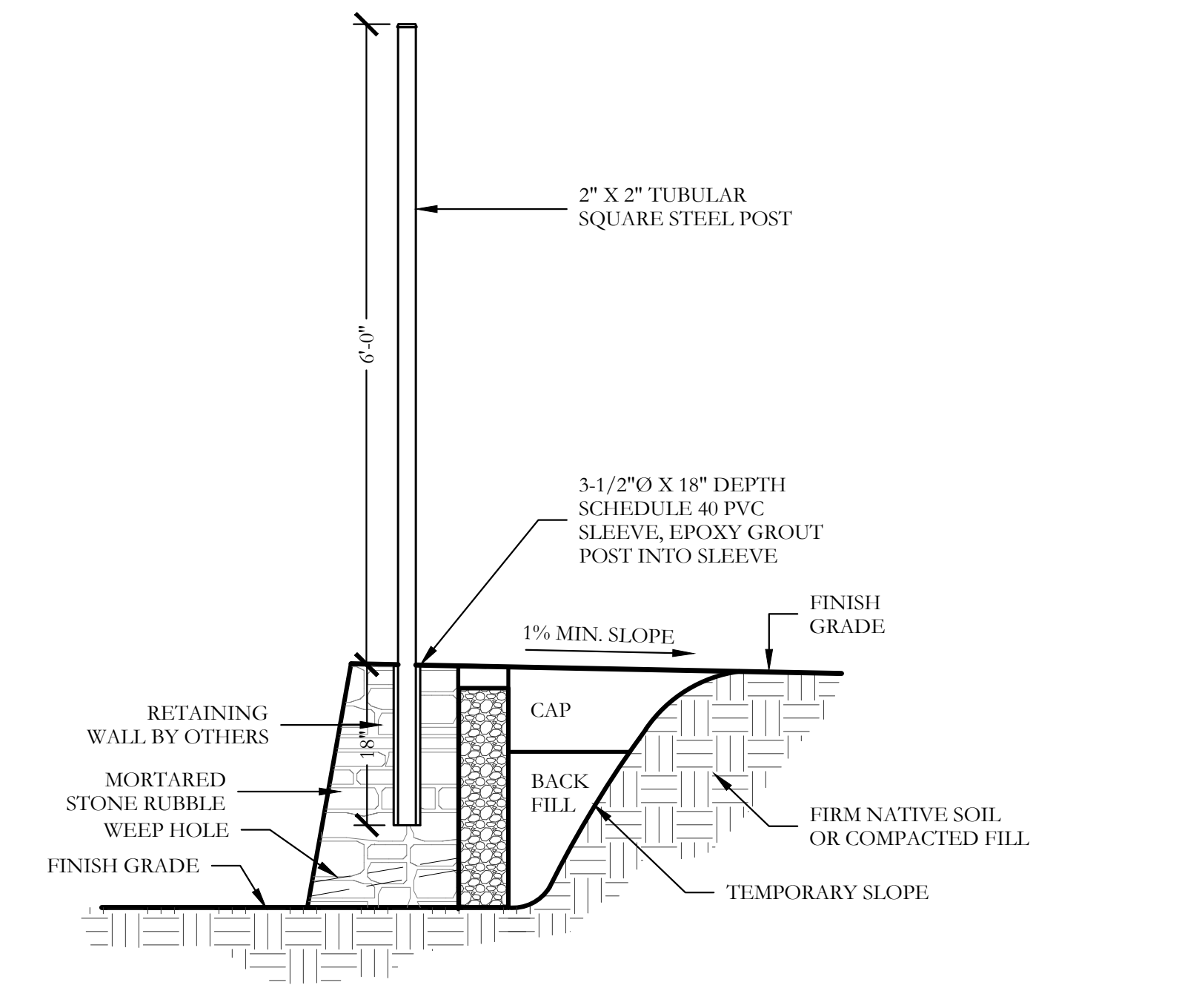




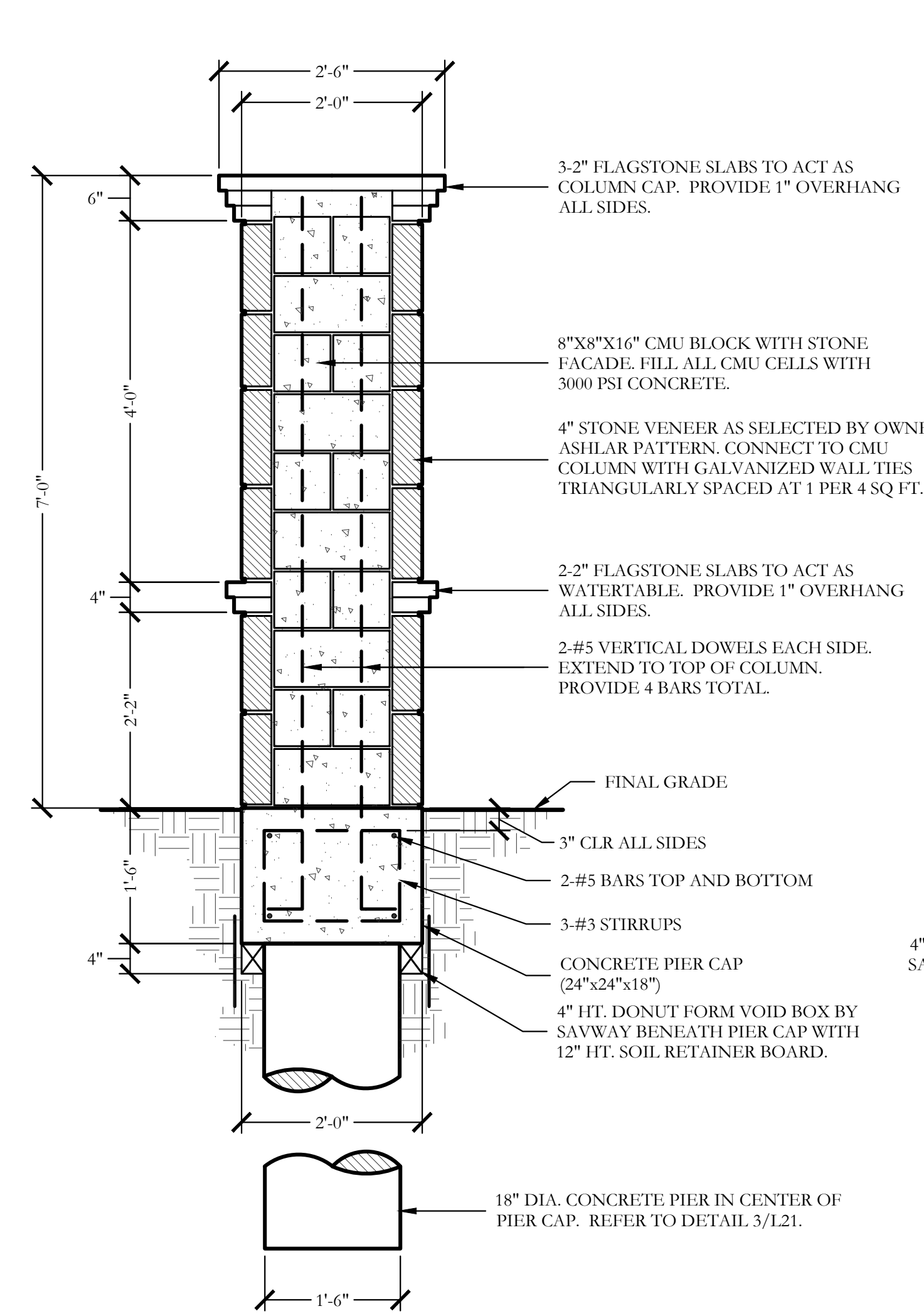
**1** 6'-0" HT. ORNAMENTAL METAL FENCE AND COLUMN ELEVATION SCALE: 1/2"=1'-0"



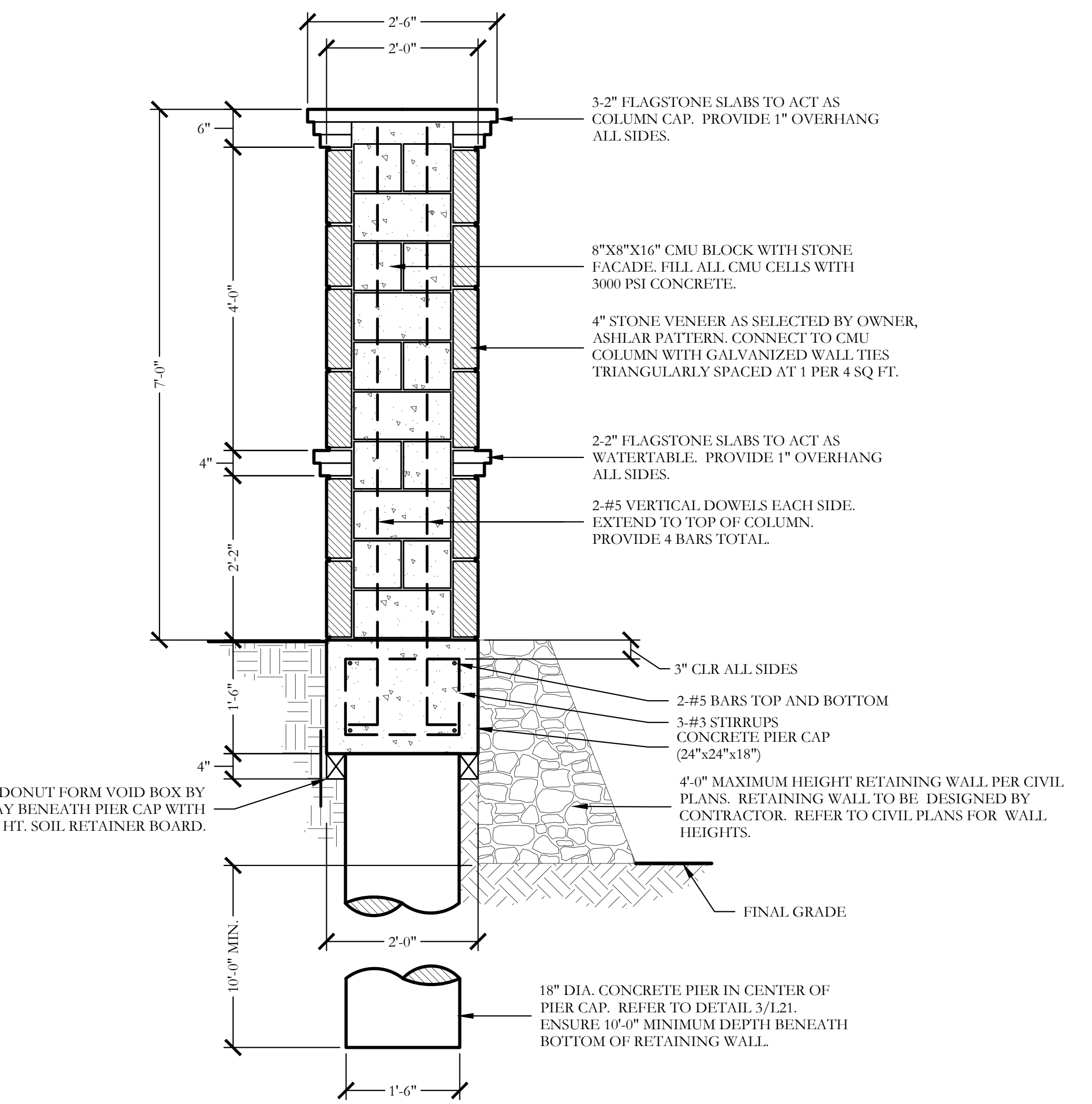
**4** TYPICAL METAL POST FOOTING SECTION SCALE: 1/2"=1'-0"



**5** 6'-0" HT. ORN. METAL FENCE ATOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



**2** 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4"=1'-0"



**3** 7'-0" HT. STONE COLUMN ATOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"

**ORNAMENTAL METAL FENCE NOTES**

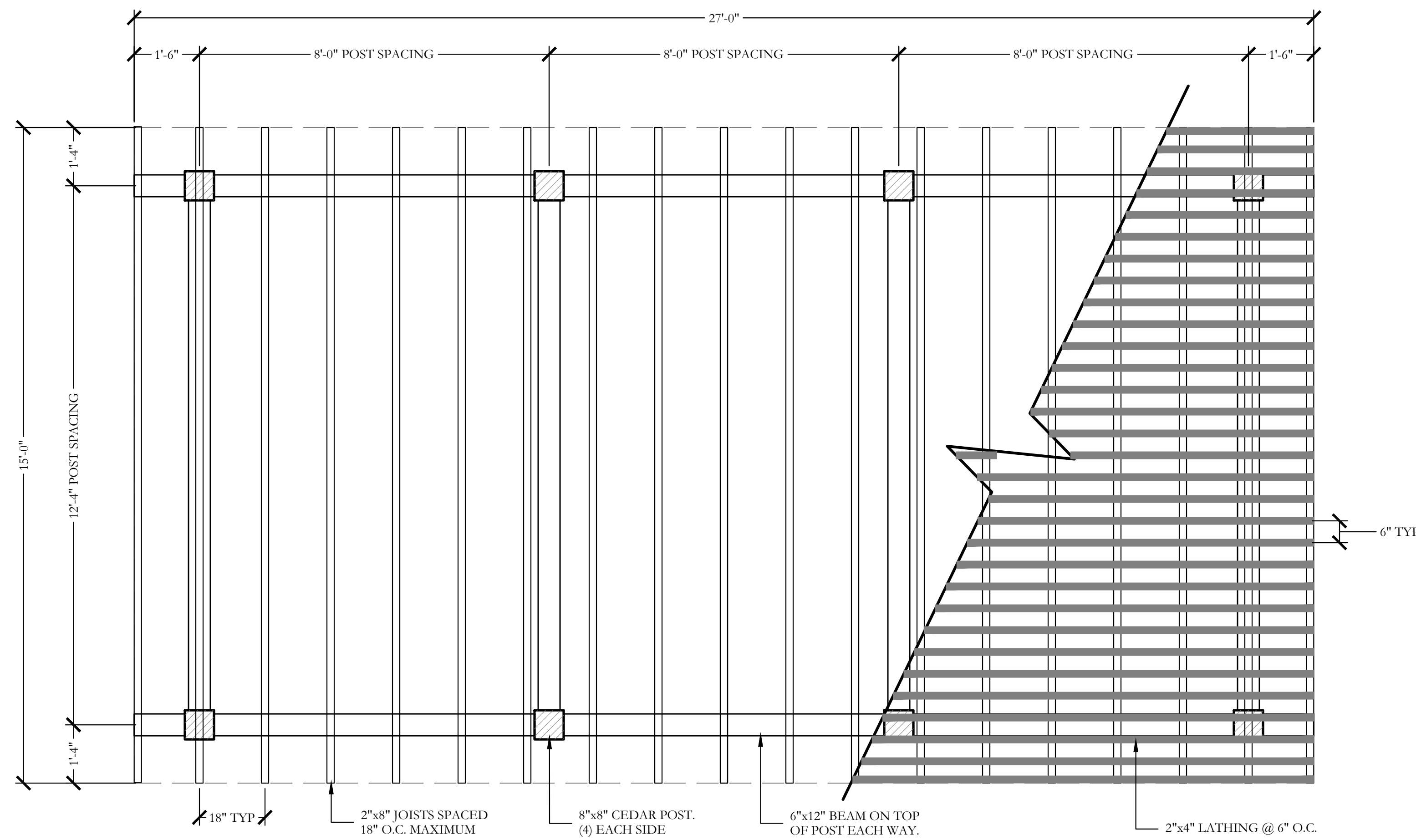
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL, 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 10.1. PICKETS, 3/4" SQUARE 16 GA.
  - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
  - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONCRETE FOOTING FOR POSTS SHALL BE A MINIMUM OF 3X POST WIDTH.
12. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
13. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

**WALL NOTES**

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A62, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

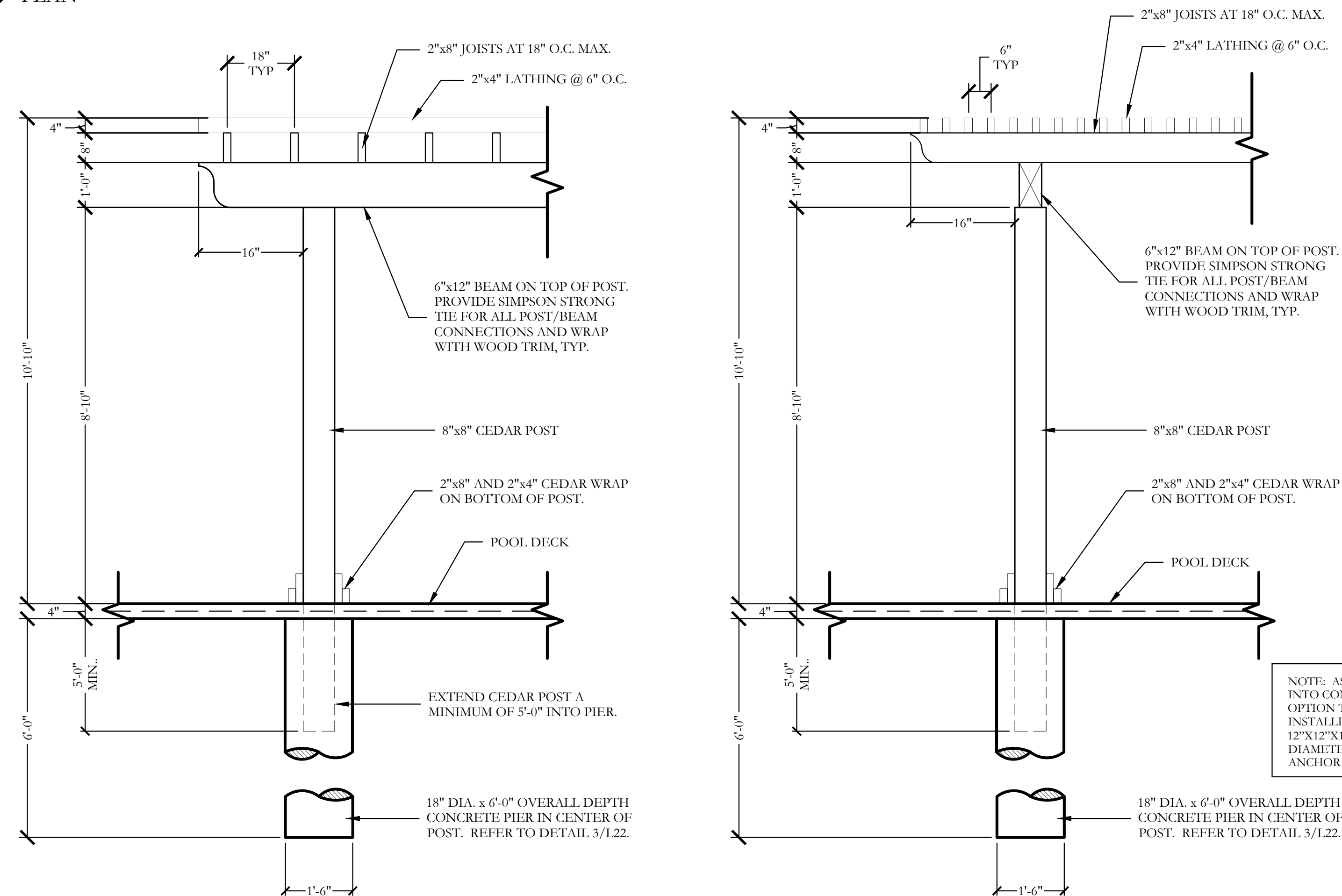
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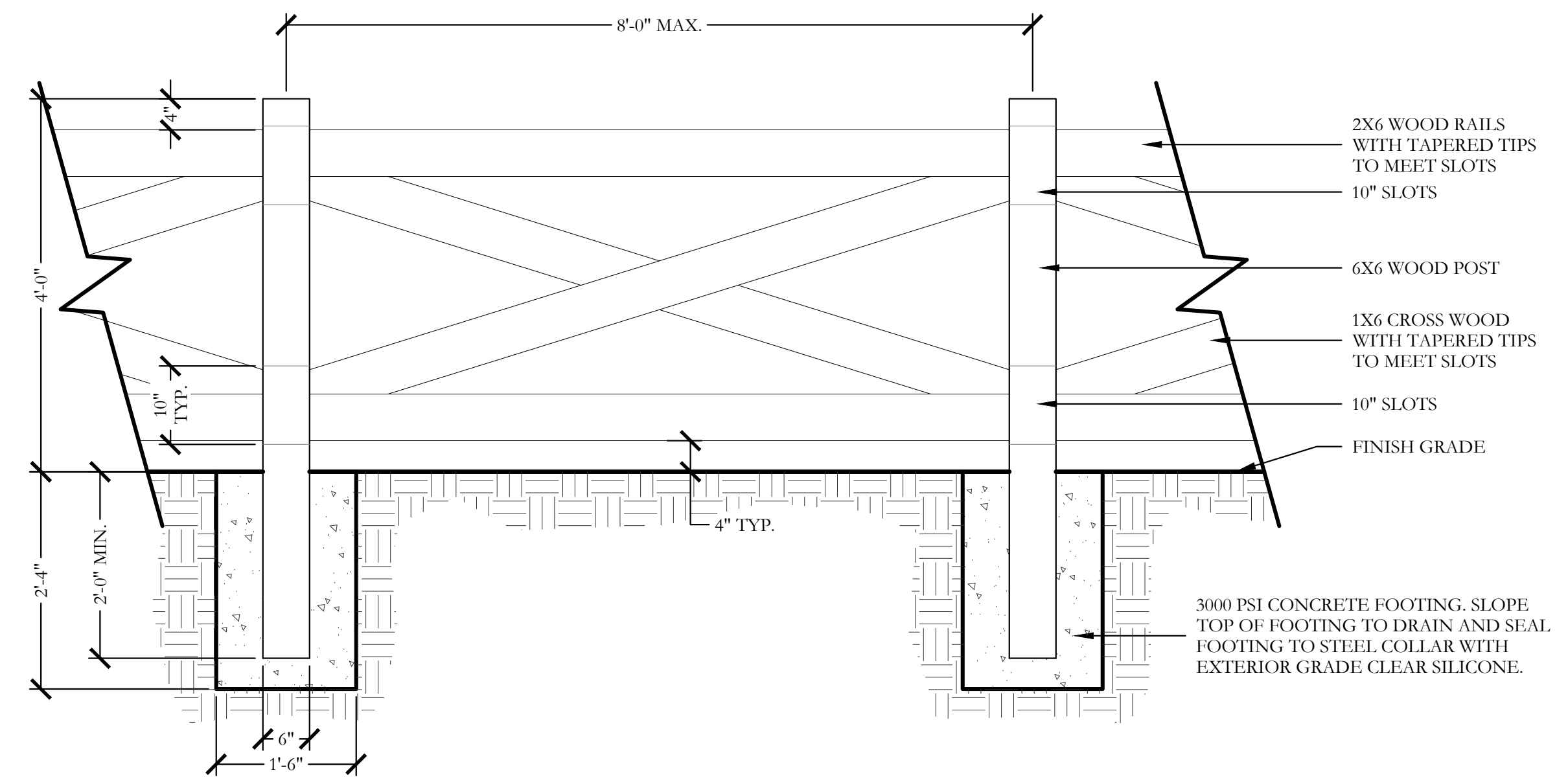
1 CEDAR SHADE STRUCTURE LAYOUT (15'-0" x 27'-0")  
PLAN

SCALE: 1/2" = 1'-0"



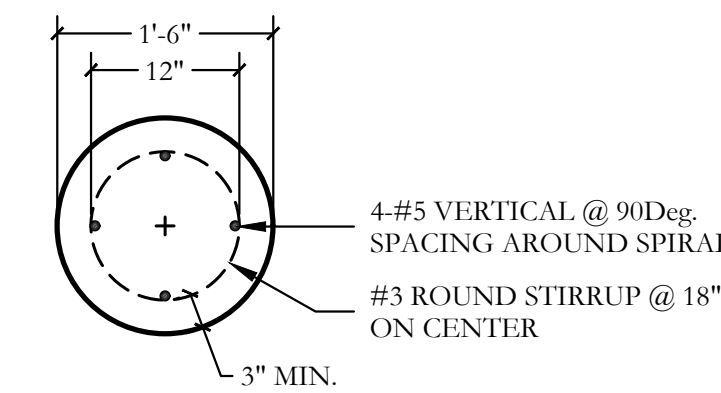
2 CEDAR SHADE STRUCTURE DETAILS  
SECTION

SCALE: 1/2" = 1'-0"

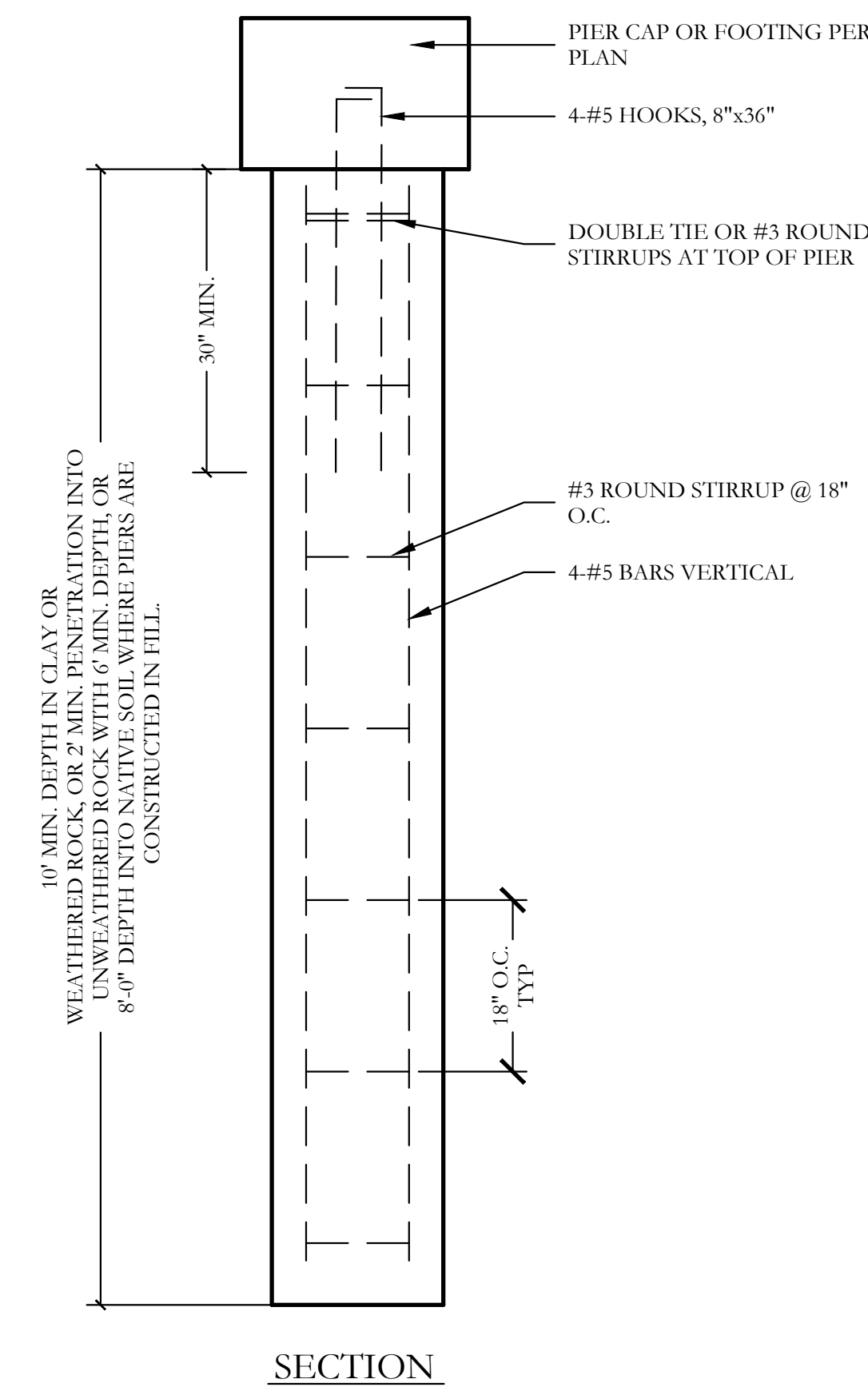


4 4'-0" HT. SPLIT RAIL FENCE  
SECTION

SCALE: 3/4" = 1'-0"



PLAN/SECTION



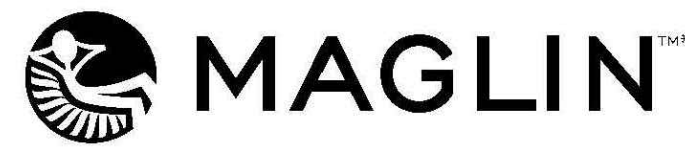
3 PIER (18" DIA.)  
SECTION

SCALE: 3/4" = 1'-0"

**CEDAR SHADE STRUCTURE NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
  - 4.1. JOIST- CEDAR, #2 GRADE OR BETTER.
  - 4.2. BEAM- CEDAR, #2 GRADE OR BETTER.
  - 4.3. POST- CEDAR, #2 GRADE OR, BETTER
5. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC... ARE TO BE HOT DIPPED GALVANIZED.
6. IF SIMPSON STRONG TIES ARE USED FOR SECURING THE BEAMS TO POSTS, CONTRACTOR SHALL HIDE THE BRACKETS WITH CEDAR TRIM.
7. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. PERFECT FACIES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
9. ALL WOOD MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.





TRASH CONTAINERS

T 800-716-5506  
F 877-260-9393  
WWW.MAGLIN.COM  
SALES@MAGLIN.COM

MLWR200-20-ST

**MATERIALS:** The trash container frame is constructed using heavy duty steel flat bar. A 20 gallon commercial grade plastic liner and standard metal lid are provided.

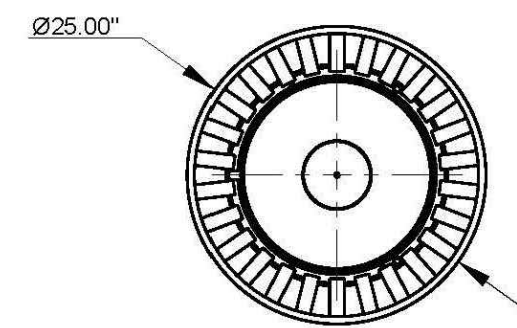
**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

**INSTALLATION:** The trash container is delivered pre-assembled. Holes (0.5") are provided in each mounting foot for securing to base.

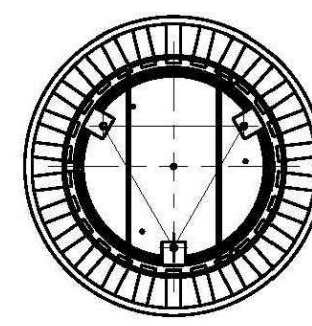
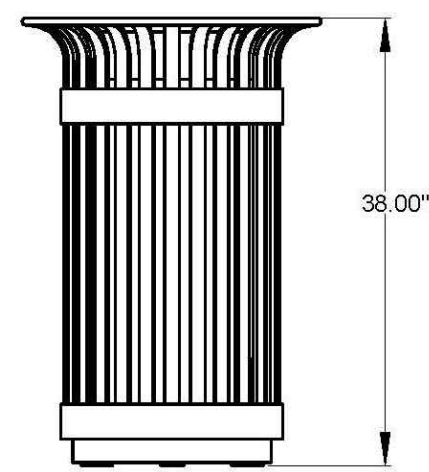
**TO SPECIFY:** Select MLWR200-20

Choose:  
- Powdercoat Color  
- Standard Lid (ST) or lid options shown below

**OPTIONS:**  
- Dome Lid (DL20)  
- Paper Slot Lid (PS)  
- Bottles/Can Slot Lid (BC)  
- Side Ash Receptacle (SA)  
- Side Opening (MLWR200S-20)



**DIMENSIONS:**  
Height: 38.00" (96.5 cm)  
Diameter: 25.00" (63.5 cm)  
Weight: 170lbs (77kg)  
Liner Capacity: 20.0 Gallons  
75.7 Litres



MOUNTING FEET

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\*MAGLIN is a registered trademark of Maglin Site Furniture Inc.

1 TRASH RECEPTABLE  
MANUFACTURER CUT SHEET

NTS

ALL MAGLIN SITE FURNISHINGS SHALL BE POWDER-COATED BLACK IN COLOR.

MLB310-M

310 SERIES



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs flat bar straps and H.S. steel tube.

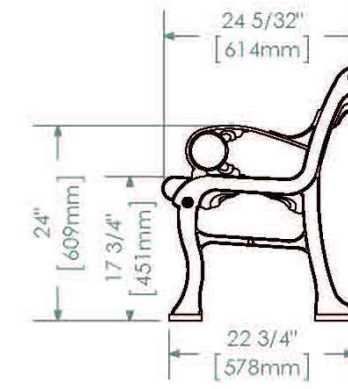
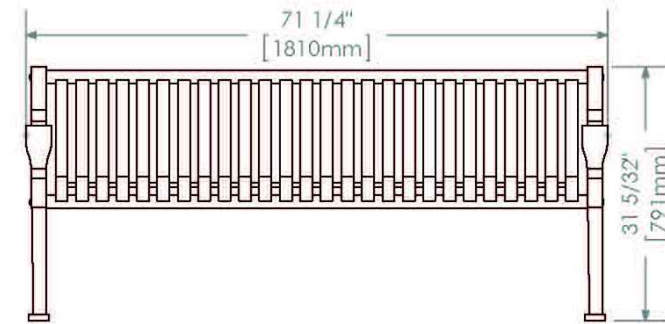
**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

**INSTALLATION:** The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.

**TO SPECIFY:** Select MLB310-M

Choose:  
- Powdercoat Color

**OPTIONS:**  
- Horizontal Steel Straps (MLB310-MH)  
- Center Arm  
- Plaque  
- Personalization



**DIMENSIONS:**  
Height: 31.16" (79.1cm)  
Length: 71.25" (181.0cm)  
Seat Height: 17.75" (45.1cm)  
Weight: 134.4lbs (61kg)



T 800-716-5506  
F 877-260-9393  
WWW.MAGLIN.COM  
SALES@MAGLIN.COM

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2 6'-0" PARK BENCH  
MANUFACTURER CUT SHEET

NTS

MLPT1100B-W

1100 SERIES



**MATERIALS:** Table top and seats are manufactured using ipe slats. The frame is H.S. steel tube and is available as surface mount only.

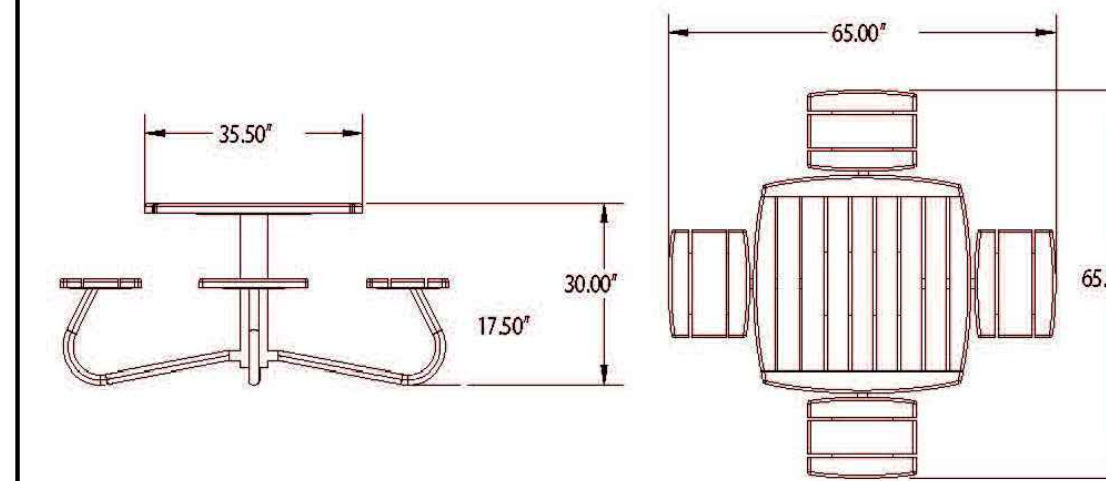
**FINISH:** The Maglin Powdercoat System provides a durable finish on all metal surfaces. Wood slats are treated with penetrating sealers.

**INSTALLATION:** The table is delivered pre-assembled.

**TO SPECIFY:** Select MLPT1100B-W

Choose:  
- Powdercoat Color

**OPTIONS:**  
- Wheelchair Accessibility (WCA)  
- Garming Board (GB)



**DIMENSIONS:**  
Table Height: 30" (76.2 cm)  
Total Length: 65" (165.0 cm)  
Table Width: 35.50" (90.1 cm)  
Seat Width: 17.50" (44.5 cm)



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3 CAMDEN TABLE  
MANUFACTURER CUT SHEET

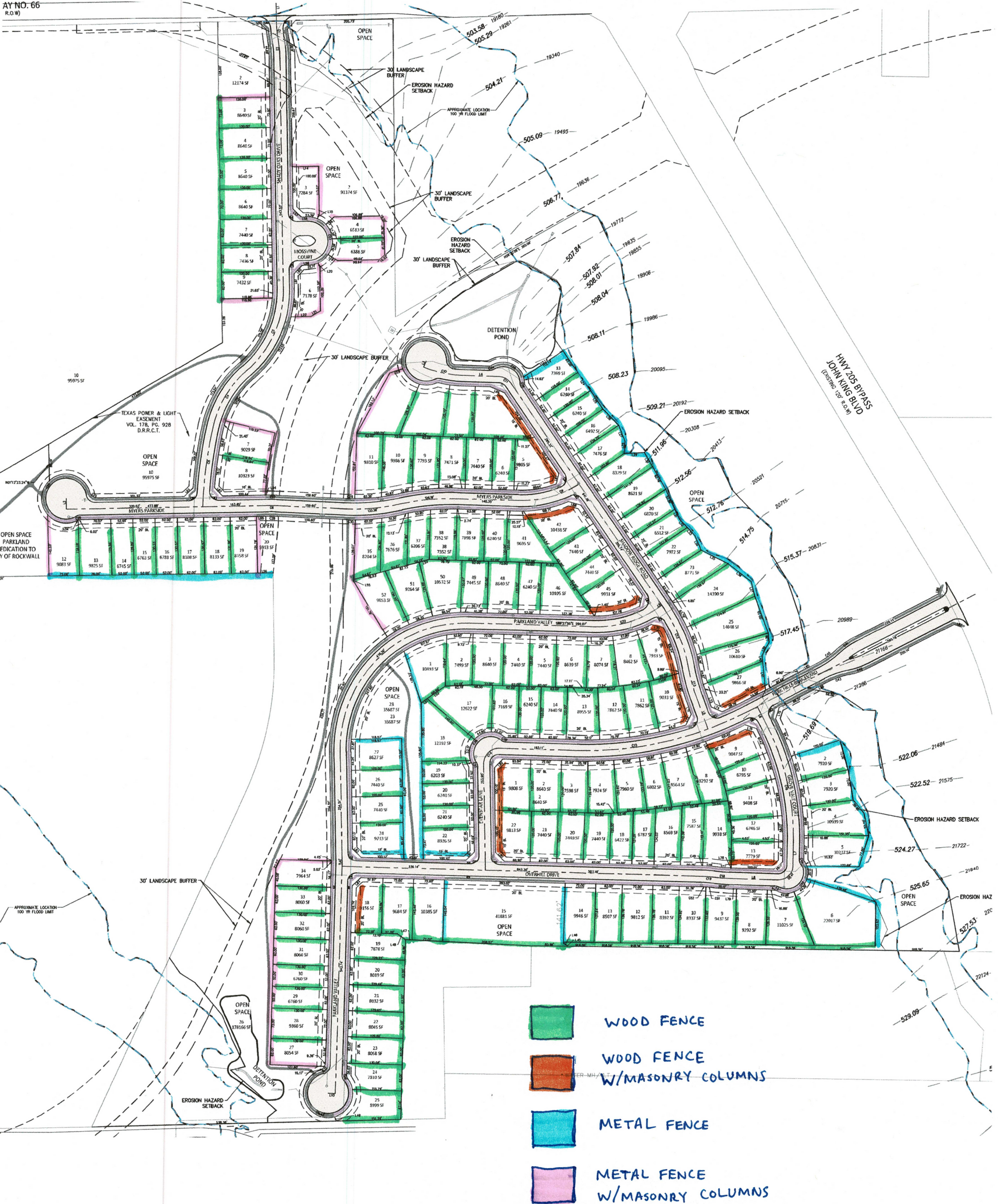
NTS

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# PARK HILLS

USE FOR FENCE MAP ONLY - DRAWING NOT TO SCALE





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-017  
PROJECT NAME: Site Plan for Centers for Peace and Mercy  
SITE ADDRESS/LOCATIONS: 600 TURTLE COVE BLVD

CASE CAPTION: Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-017; Site Plan for the Center for Peace and Mercy  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2023-017) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also, remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

M.6 Site Plan



(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

(2) Parking should not be located between the front façade and the street. Currently, there is a row of parking and several parking spaces in between Turtle Cove Boulevard and the front façade of the building. This needs to be corrected or a variance requested (Subsection 07.03, of Article 5, of the UDC).

#### M.7 Landscape Plan

1) Texas Red Oak and Bald Cypress are not permitted in the Scenic Overlay District. Please provide an alternative canopy tree (i.e. Lacebark Elm or Live Oak are acceptable). (Appendix C, of the UDC)

2) Provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08, of the UDC)

3) Indicate all trees that will or have been removed with development. If trees were removed due to the development of Turtle Cove Blvd, please indicate as such so the trees can be removed from mitigation. There are currently no trees on the property. (Subsection 03.01.F, of Article 09, of the UDC)

#### M.8 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

#### M.9 Building Elevations

(1) Indicate exterior elevations adjacent to public right-of-way.

(2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, UDC)

(3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, UDC) Please indicate this on the building elevations by adding a call out and providing a roof plan.

(4) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, UDC)

(5) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2) This will require a variance from the Planning and Zoning Commission.

(6) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building (Subsection 06.02.5, of Article 05, UDC). In this case, the applicant has not provided the required row of trees along the perimeter of the subject property at the rear. This will require a variance from the Planning and Zoning Commission.

M.10 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.

(2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building has a flat roof and therefore does not meet this standard.

(3) Parking Restrictions. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "No more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) shall be allowed between the primary building façade and the right-of-way of the Primary Roadway." In this case, there is a row of parking and several parking spaces in between Turtle Cove Boulevard and the front façade of the building.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:



- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.

M.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 28, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attend this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - Ex. 10' sewer easement on property. Detention is not allowed in any utility/water/sewer easement.
- No metal fencing allowed. There is a retaining wall proposed here.
  - Label 48' radius for turnaround.
  - Are you relocating sewer now or for Phase 2.
  - Show 20' water easement.
  - Add: Public cross access and utility to fire lane easement.
  - Label proposed 5' sidewalk.
  - Dumpster area to drain to oil/water separator prior to discharging into storm system.

Informational comments below.

- Need to show existing and proposed water and sewer along with easements
- Dumpster area to drain to oil/water separator prior to discharging into the storm system
- Show the 100 year fully developed flood plain
- Show proposed retaining wall
- No structures including retaining walls in easements
- No vertical walls in detention/drainage easement
- No metal fencing allowed
- Impact fees are due at building permit
- Siren fee is due
- Add note: Dimensions are to face of curb and edge of paving
- See markup on A102

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	04/17/2023	Needs Review
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04/17/2023: Show the location of proposed/existing fire hydrants that are providing coverage.

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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GIS	Lance Singleton	04/17/2023	Approved
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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Chris Cleveland	04/17/2023	Approved
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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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PARKS	Travis Sales	04/17/2023	Approved w/ Comments
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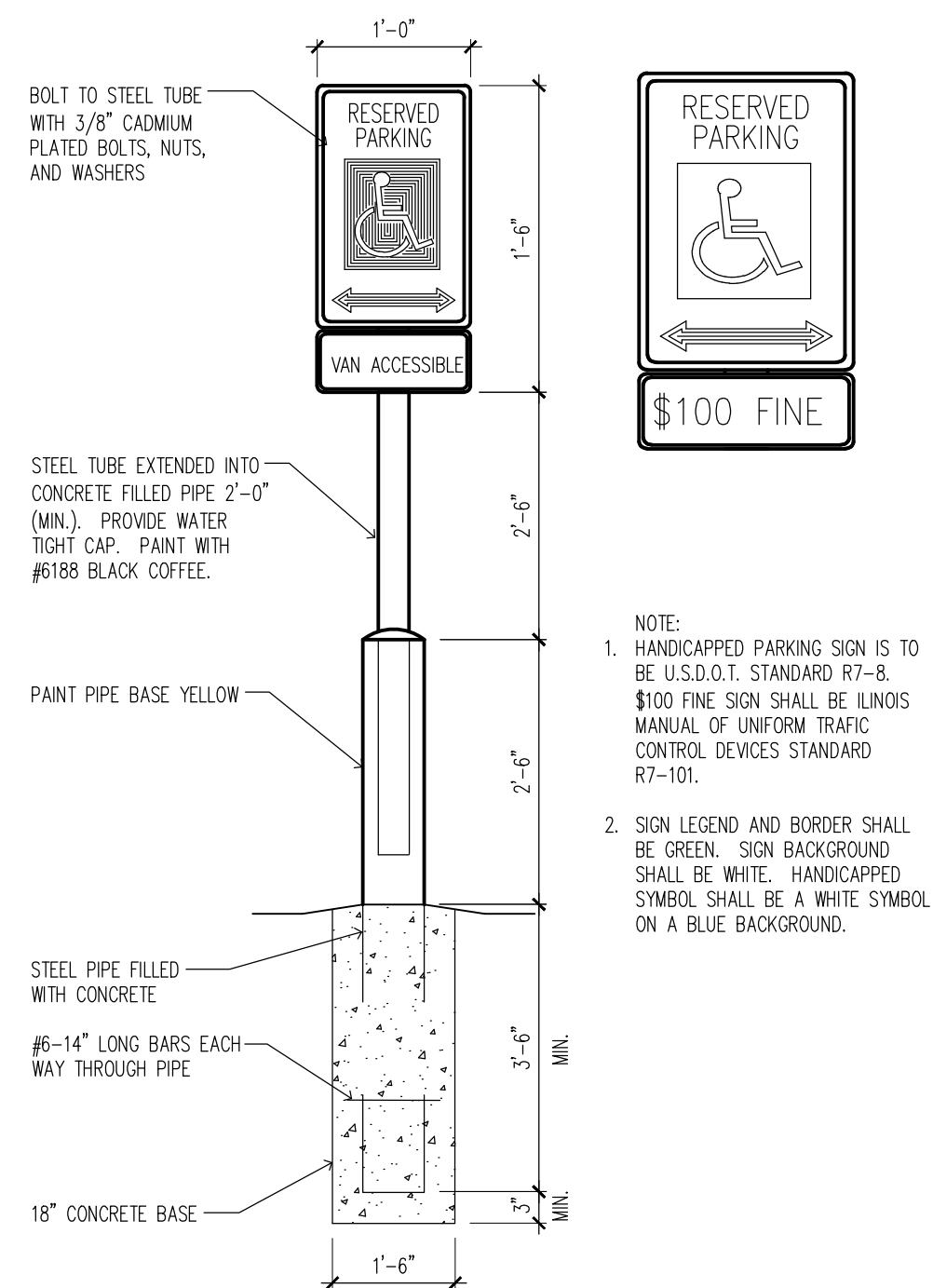
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04/17/2023: Tree mitigation

How will the 77 inches to be mitigated through payment to the city of Rockwall?

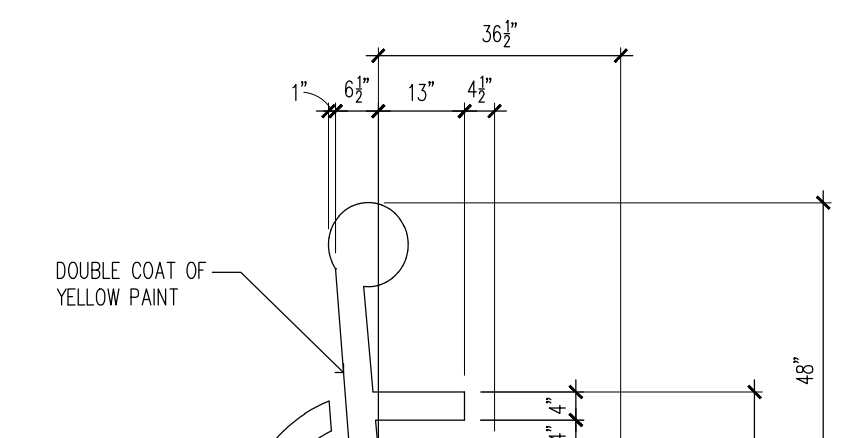
Landscape Plan approved



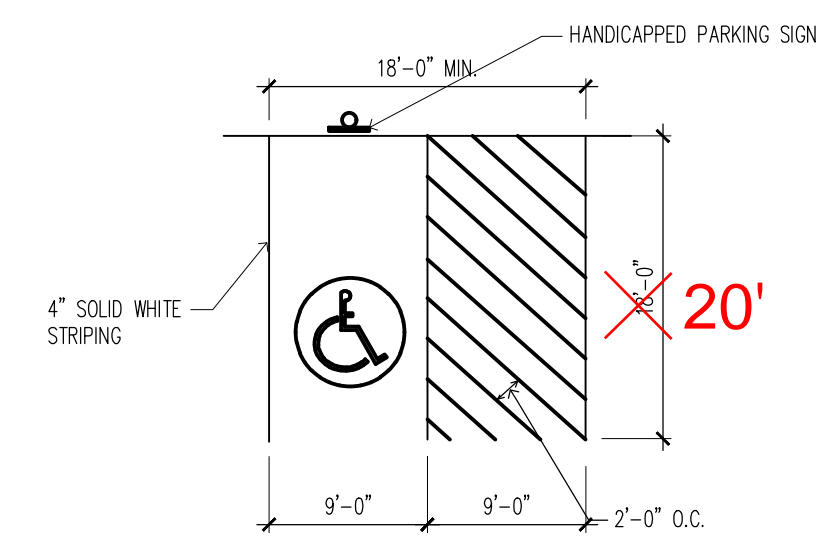


**05 HANDICAP PARKING SIGN**  
N.T.S.

NOTE: ALL HANDICAPPED PARKING SYMBOL, SIZES, COLOR & STANDARD TO MATCH WITH LATEST TEXAS ADA STANDARD & FEDERAL ADAAG STANDARD.

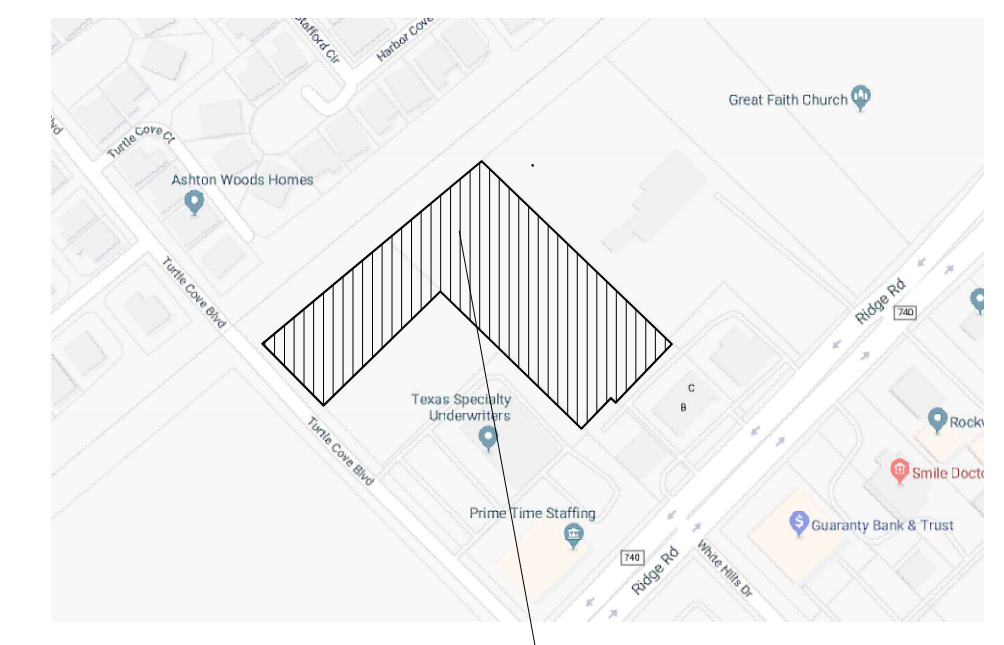


**04 HANDICAPPED PAINTED SYMBOL**  
N.T.S.



**03 HANDICAPPED PARKING STALL**  
N.T.S.

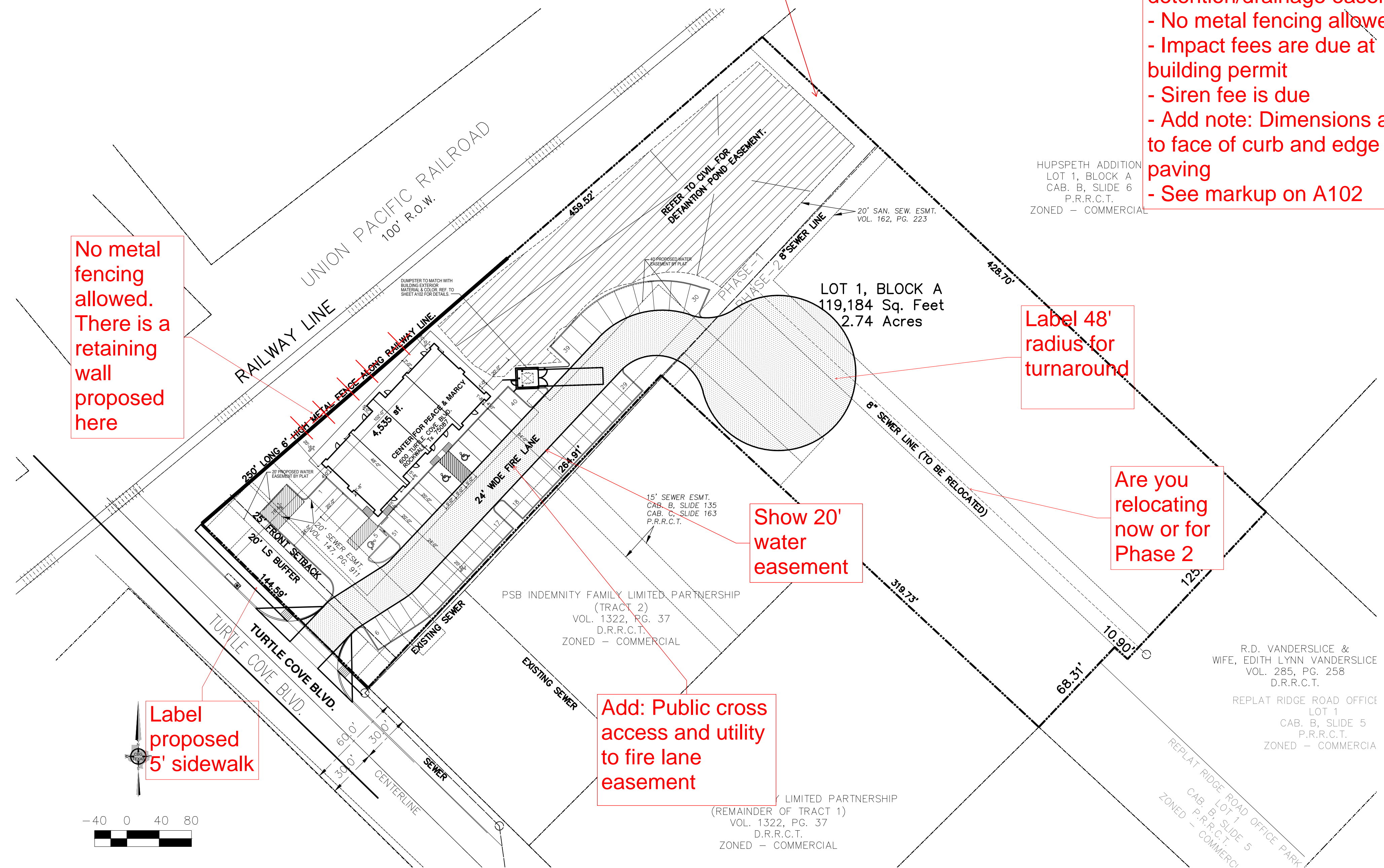
- Need to show existing and proposed water and sewer along with easements  
 - Dumpster area to drain to oil/water separator prior to discharging into the storm system  
 - Show the 100 year fully developed flood plain  
 - Show proposed retaining wall  
 - No structures including retaining walls in easements  
 - No vertical walls in detention/drainage easement  
 - No metal fencing allowed  
 - Impact fees are due at building permit  
 - Siren fee is due  
 - Add note: Dimensions are to face of curb and edge of paving  
 - See markup on A102



**THE SITE**  
600 TURTLE COVE DR.  
ROCKWALL, TX 75087

**02 VICINITY MAP**  
SCALE: 1"=40'4"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
TOTAL LOT AREA	2.74 AC. (119,184 SF.)
LOT COVERAGE	25.88%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,268 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
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RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	136/4 = 34
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	34+12 = 46
TOTAL PARKING PROVIDED	51 INCLUDING 3 ADA



No metal fencing allowed. There is a retaining wall proposed here

Label 48' radius for turnaround

Are you relocating now or for Phase 2

Show 20' water easement

Add: Public cross access and utility to fire lane easement

Label proposed 5' sidewalk

- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
  2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
  3. REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
  4. REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
  5. REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
  6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
  7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

**01 SITE PLAN**  
SCALE: 1"=40'4"

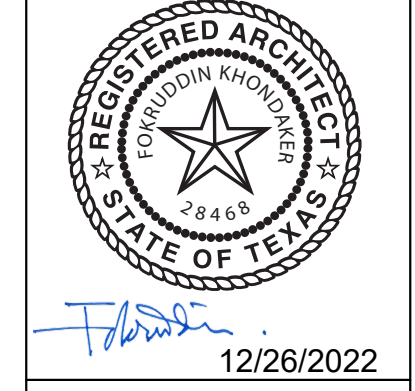
**OWNER:**  
CENTER FOR PEACE AND MERCY, INC.  
**PHONE:** 318-617-3491  
**EMAIL:** Peacemercyinc@gmail.com

**PROJECT:**  
RETAIL BUILDING PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	10.28.22	CITY COMMENTS

**ARCHITECT OF THE RECORD:**  
Fokruddin Khondaker AIA, NCARB  
**Oculus Architects, Inc.**  
14310 Rich Branch Dr.  
North Potomac, MD 20878  
Tel: (800) 609-4806



**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, TX 76051  
Tel: (817) 806-0811  
E-mail: okm.heboluzzaman@gmail.com

**SHEET TITLE:**  
SITE PLAN

**DATE:** 06.09.2021  
**SCALE:** AS SHOWN  
**DRAWN:**  
**DESIGNER:** A. HELALUZAMAN

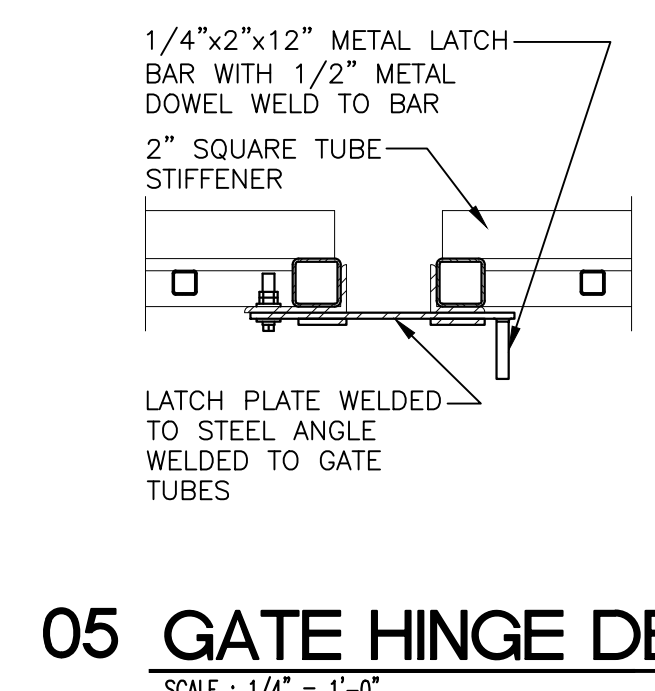
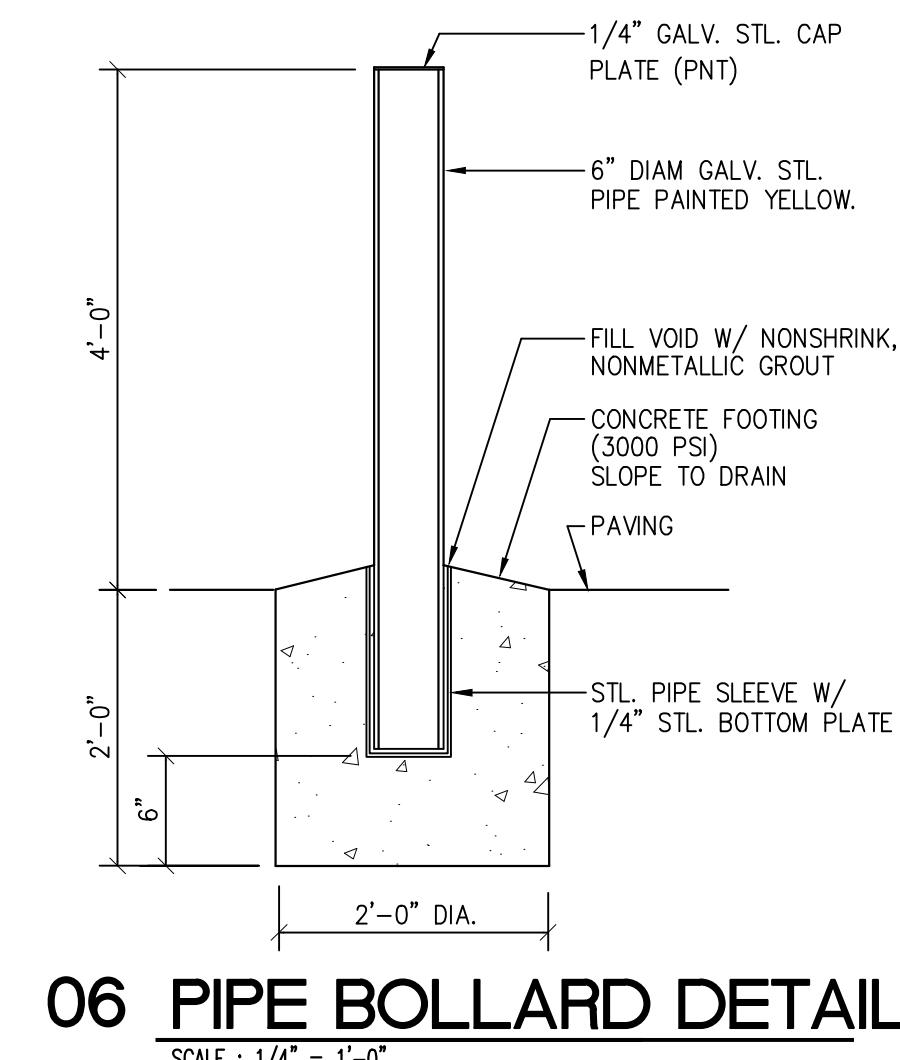
**PROJECT #**  
**H-2019-02**  
**SHEET NO.:** A101



- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
  2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
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  6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
  7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

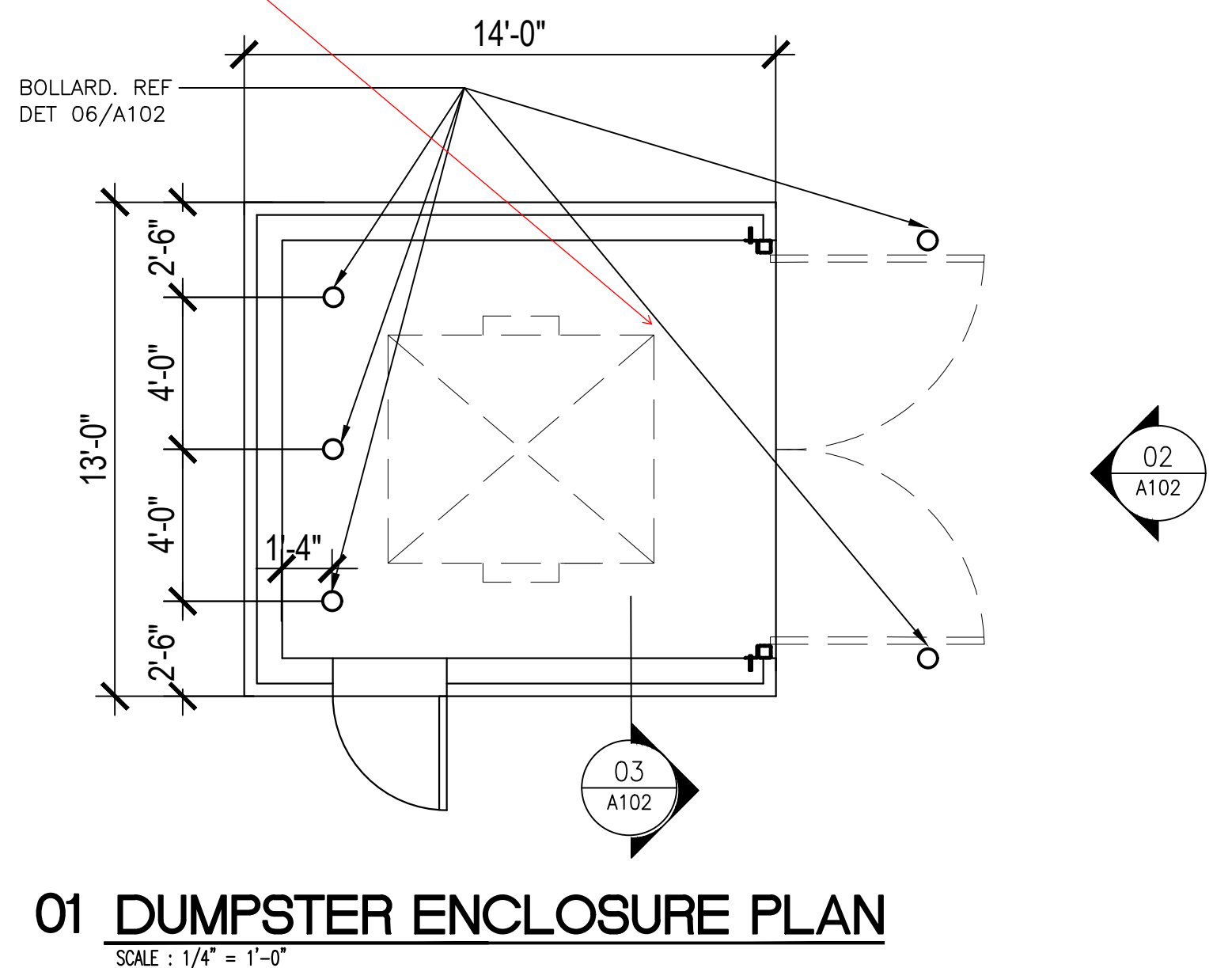
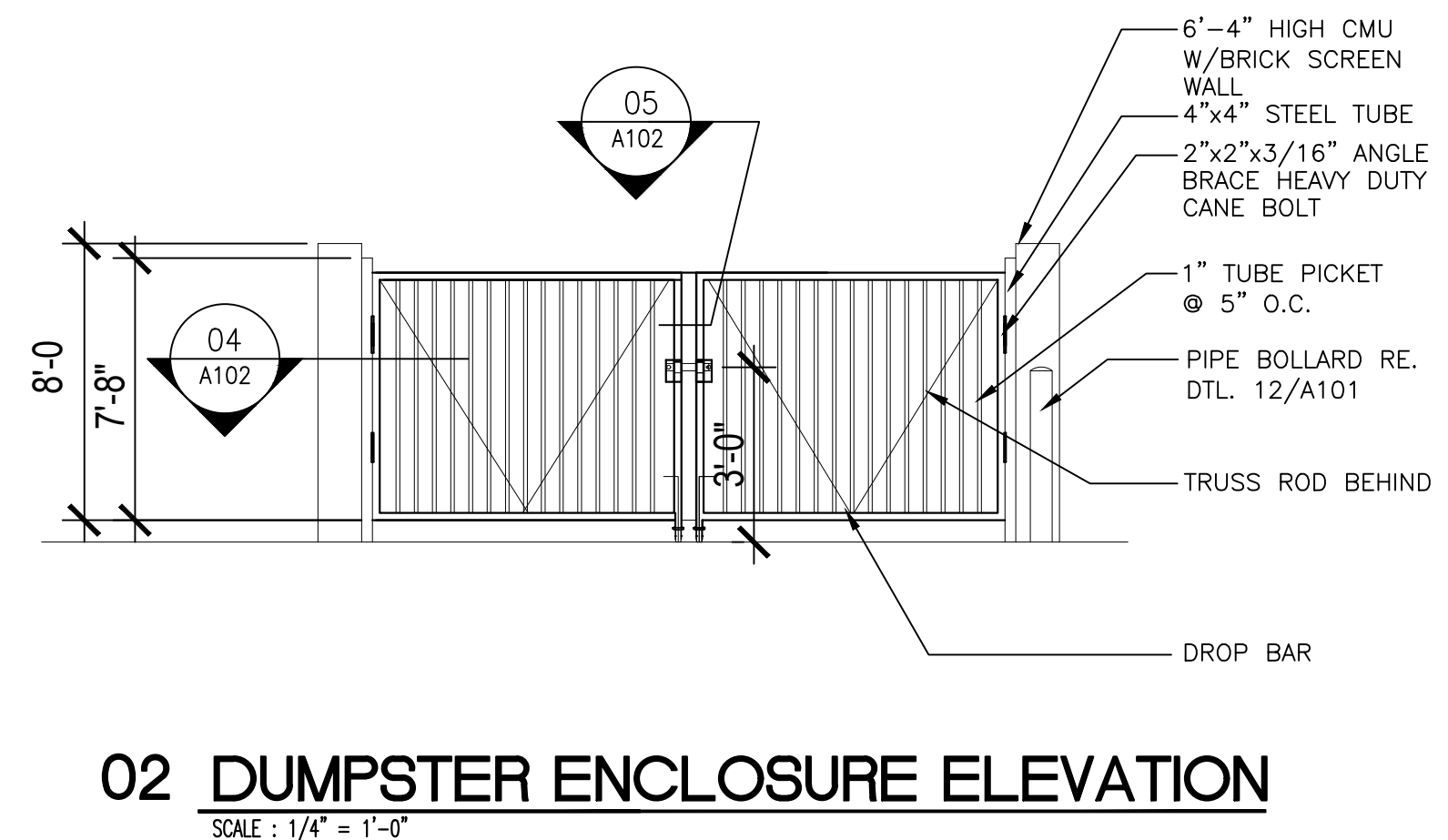
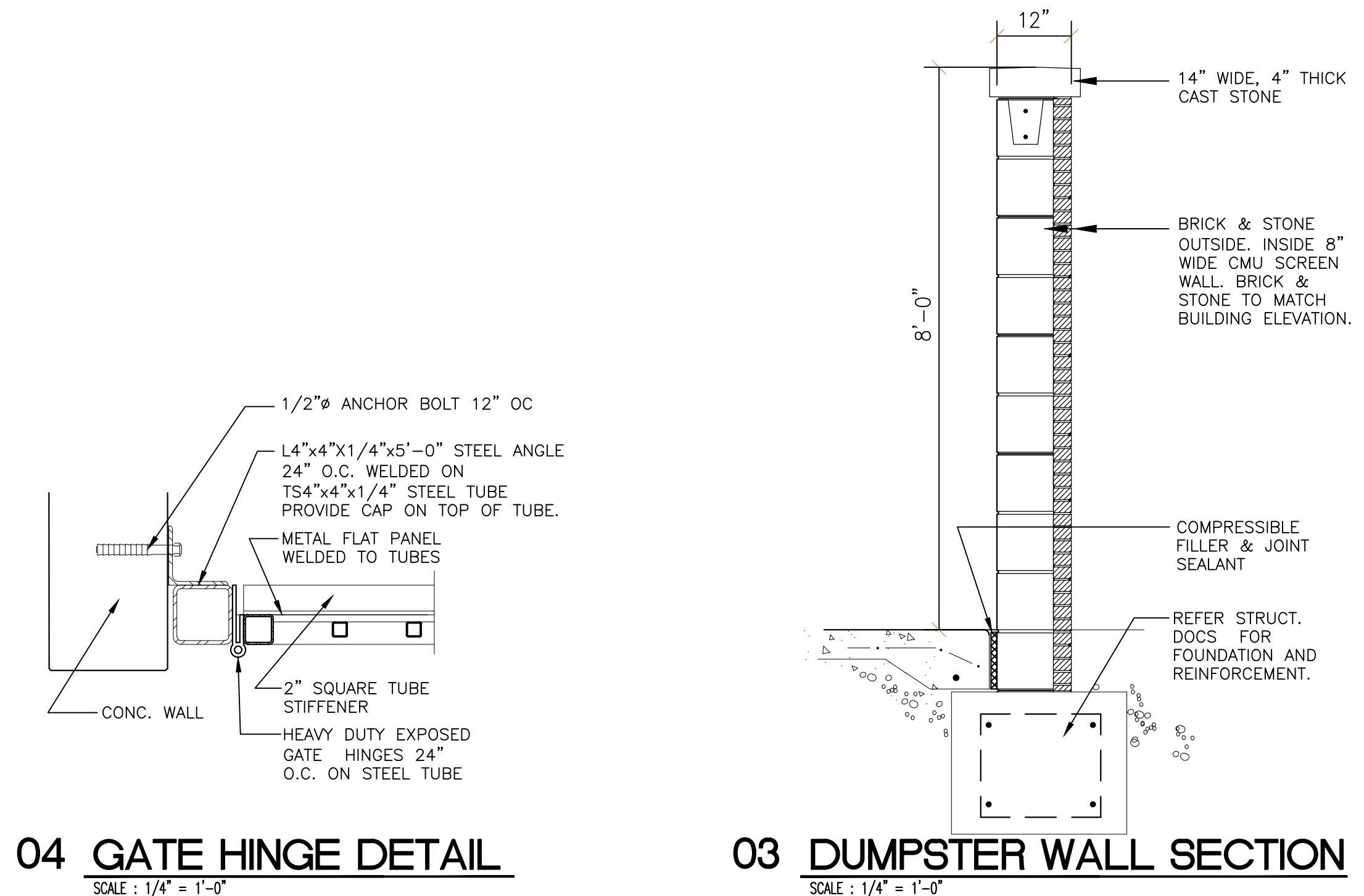
**OWNER:**  
**CENTER FOR PEACE AND MERCY, INC.**  
**PHONE: 318-617-3491**  
**EMAIL: Peacemercyinc@gmail.com**

**PROJECT:**  
**RETAIL BUILDING**  
**PHASE-1**  
**600 Turtle Cove Boulevard, Rockwall, Tx 75087**



**Dumpster area to drain to oil/water separator prior to discharging into storm system**

**NOTE:**  
 REFER TO 3/ A502 FOR DUMPSTER ELEVATIONS.



**REVISIONS:**


**ARCHITECT OF THE RECORD:**  
 Fokruddin Khondaker AIA, NCARB  
**Oculus Architects, Inc.**  
 14310 Rich Branch Dr.  
 North Potomac, MD 20878  
 Tel: (800) 609 4806



12/26/2022  
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 residential & commercial projects  
 545 Coventry Drive, Grapevine, Tx 76051  
 Tel: (817) 806 0811  
 E-mail: okm.helaluzzaman@gmail.com

**SHEET TITLE:**  
 SITE DETAILS

**DATE:** 06.09.2021  
**SCALE:** AS SHOWN  
**DRAWN:**  
**DESIGNER:**  
 A. HELALUZZAMAN  
**PROJECT #**  
**H-2019-02**  
**SHEET NO.:**  
 A102





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2023-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 600 TURTLE COVE ROCKWALL TX 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE EMPTV

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE COMMERCIAL

ACREAGE 2.6 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>ABDUL LATIF KHAN</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON		CONTACT PERSON	<u>DAVID SROUSI</u>
ADDRESS	<u>5411 KINGSTON DR.</u>	ADDRESS	<u>755 VALLEGO DR</u>
CITY, STATE & ZIP	<u>ROCKWALL TX 75082</u>	CITY, STATE & ZIP	<u>ROCKWALL TX 75087</u>
PHONE	<u>469-870-6020</u>	PHONE	<u>469-456-5935</u>
E-MAIL	<u>hajgab@hotmail.com</u>	E-MAIL	<u>DAVID.SROUSI960@GMAIL.COM</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Srousi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF April, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

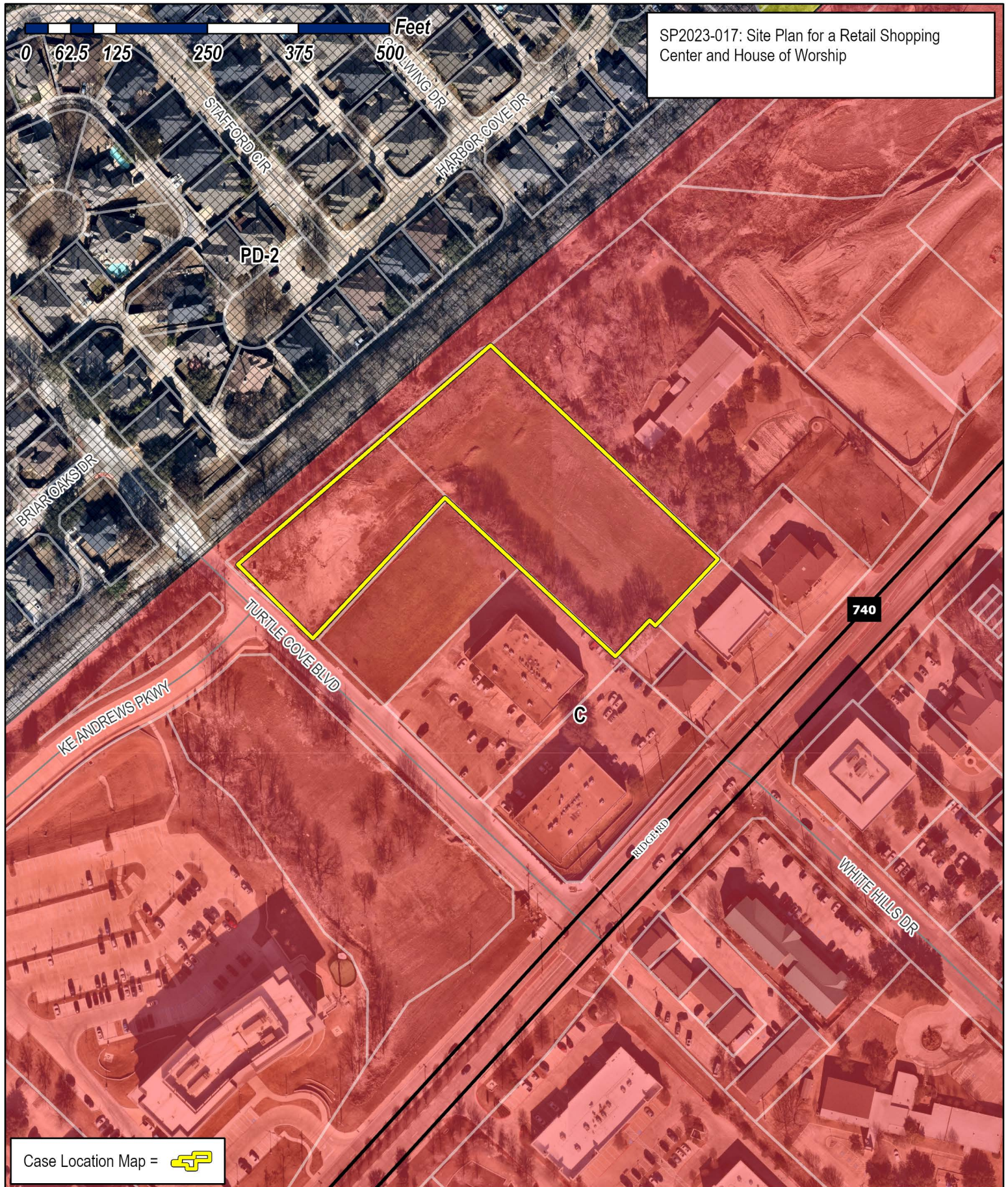
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF April, 2023

OWNER'S SIGNATURE \_\_\_\_\_


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_







SP2023-017: Site Plan for a Retail Shopping Center and House of Worship

Case Location Map = 



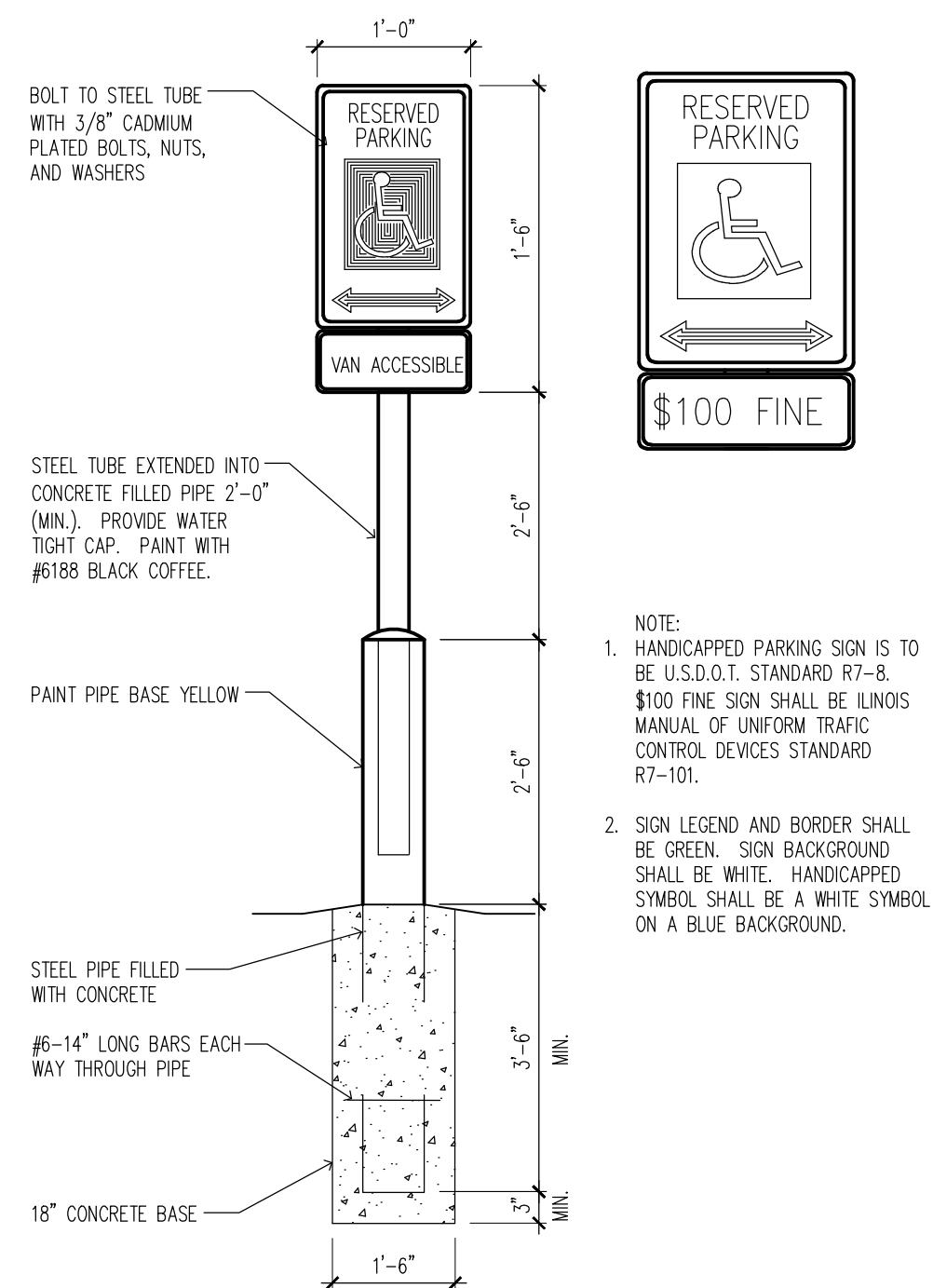
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

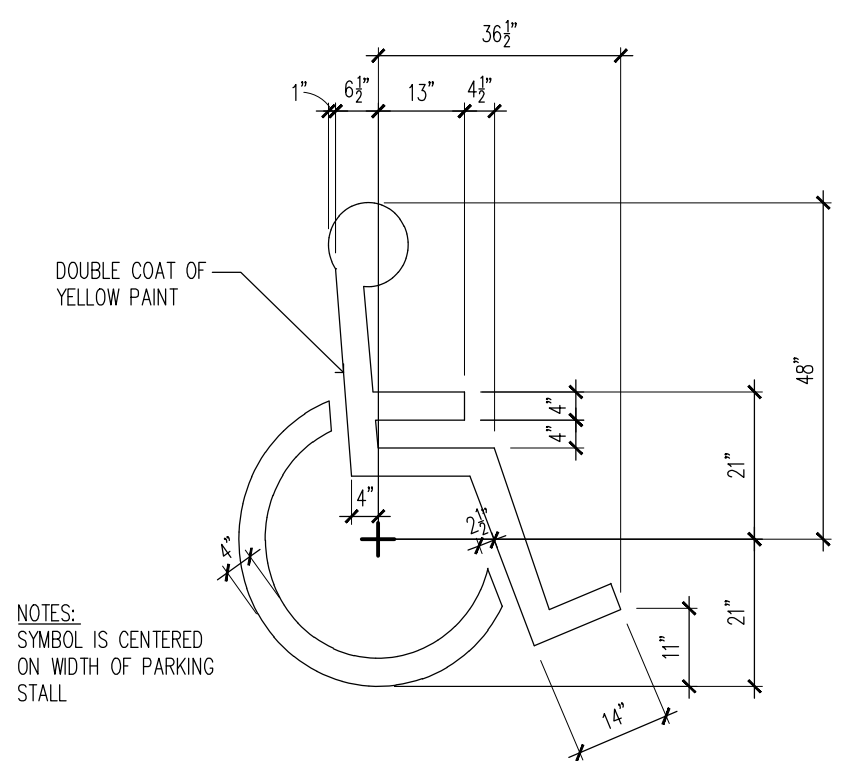




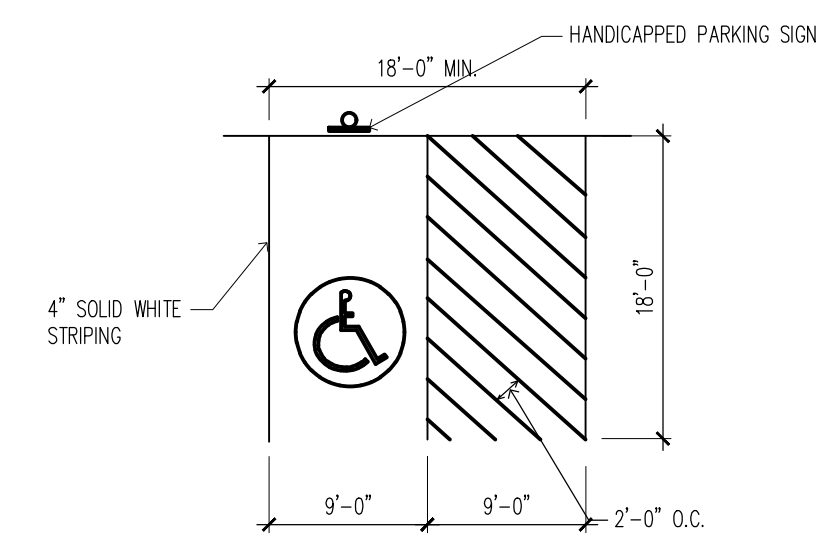


**05 HANDICAP PARKING SIGN**  
N.T.S.

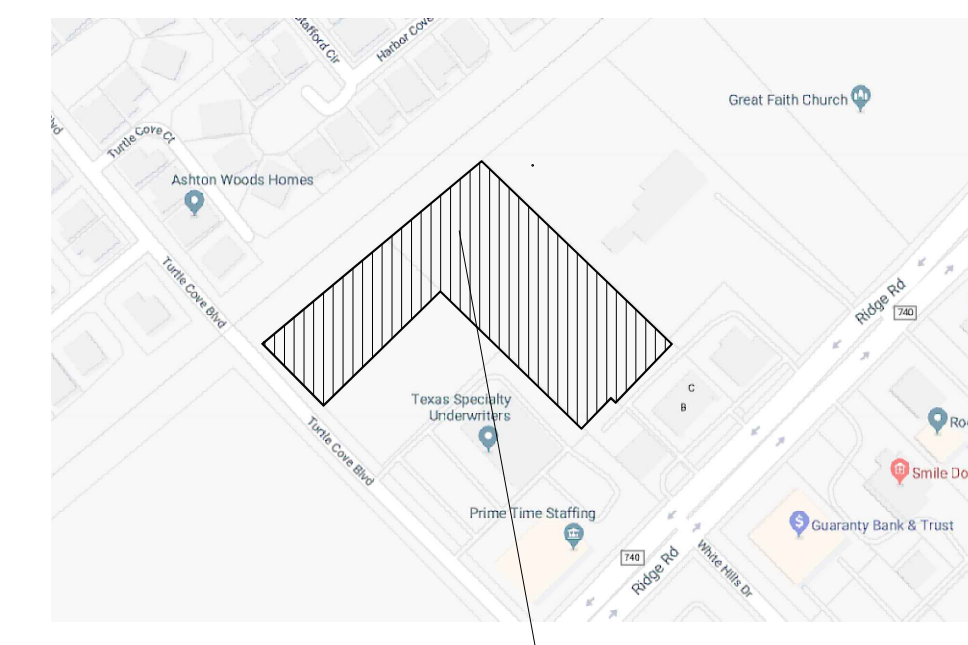
NOTE: ALL HANDICAPPED PARKING SYMBOL, SIZES, COLOR & STANDARD TO MATCH WITH LATEST TEXAS ADA STANDARD & FEDERAL ADAAG STANDARD.



**04 HANDICAPPED PAINTED SYMBOL**  
N.T.S.



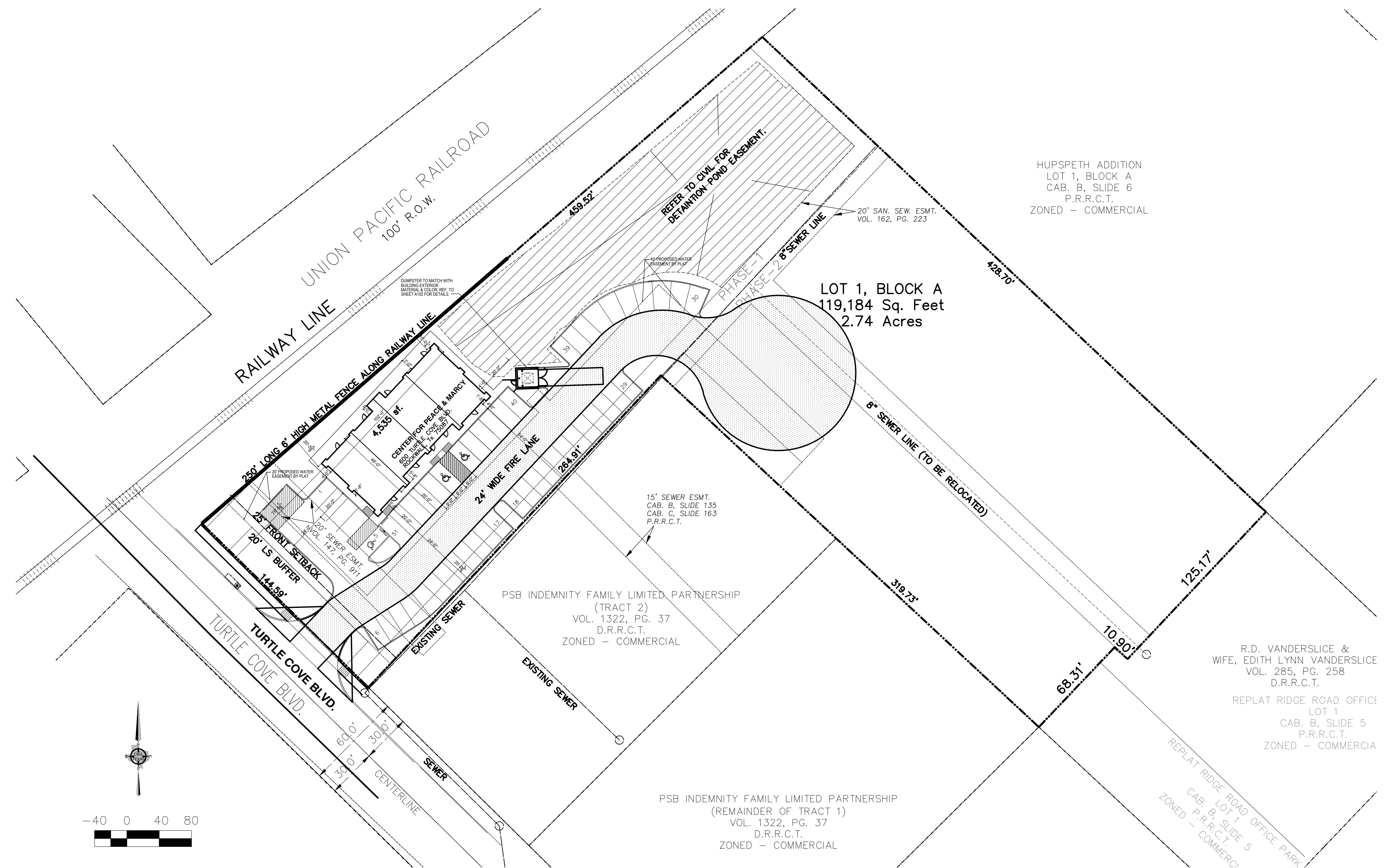
**03 HANDICAPPED PARKING STALL**  
N.T.S.



**THE SITE**  
600 TURTLE COVE DR.  
ROCKWALL, TX 75087

**02 VICINITY MAP**  
SCALE: 1"=40'4"

SITE DATA TABLE	
DESCRIPTION	
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ZONING	COMMERCIAL (C) DISTRICT
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**01 SITE PLAN**  
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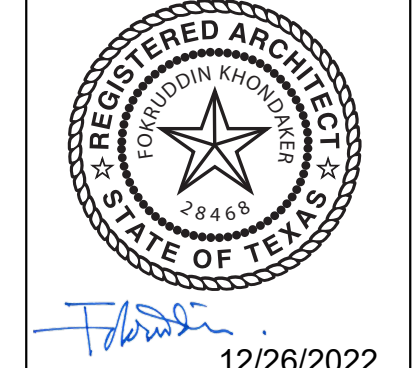
OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

NO.	DATE	DESCRIPTION
1	10.28.22	CITY COMMENTS

ARCHITECT OF THE RECORD:  
Fakruddin Khondaker AIA, NCARB  
Oculus Architects, Inc.  
14310 Rich Branch Dr.  
North Potomac, MD 20878  
Tel: (800) 605-4806



DATE: 12/26/2022  
amazing concept  
residential & commercial projects  
545 Coventry Drive, Grapevine, TX 76051  
Tel: (817) 806-0811  
E-mail: okm.heboluzzaman@gmail.com

SHEET TITLE:  
SITE PLAN

DATE: 06.09.2021  
SCALE: AS SHOWN  
DRAWN: DESIGNER:  
A. HELALUZZAMAN

PROJECT #  
**H-2019-02**  
SHEET NO. **A101**

- TYPICAL SITE PLAN NOTES:**
- ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
  - KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
  - REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
  - REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
  - REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
  - REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
  - REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.





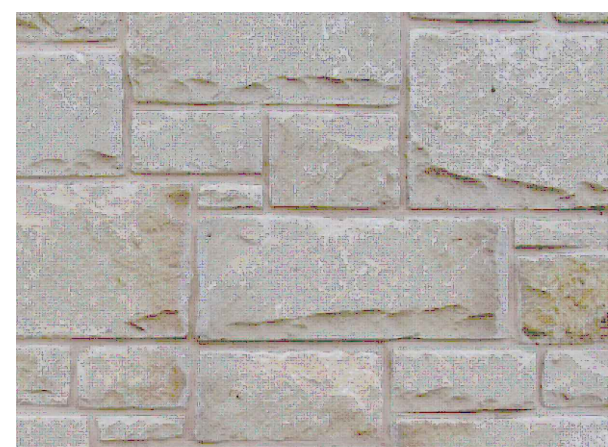
DARK BRONZE FRAMES, PARAPET CAP & CANOPY



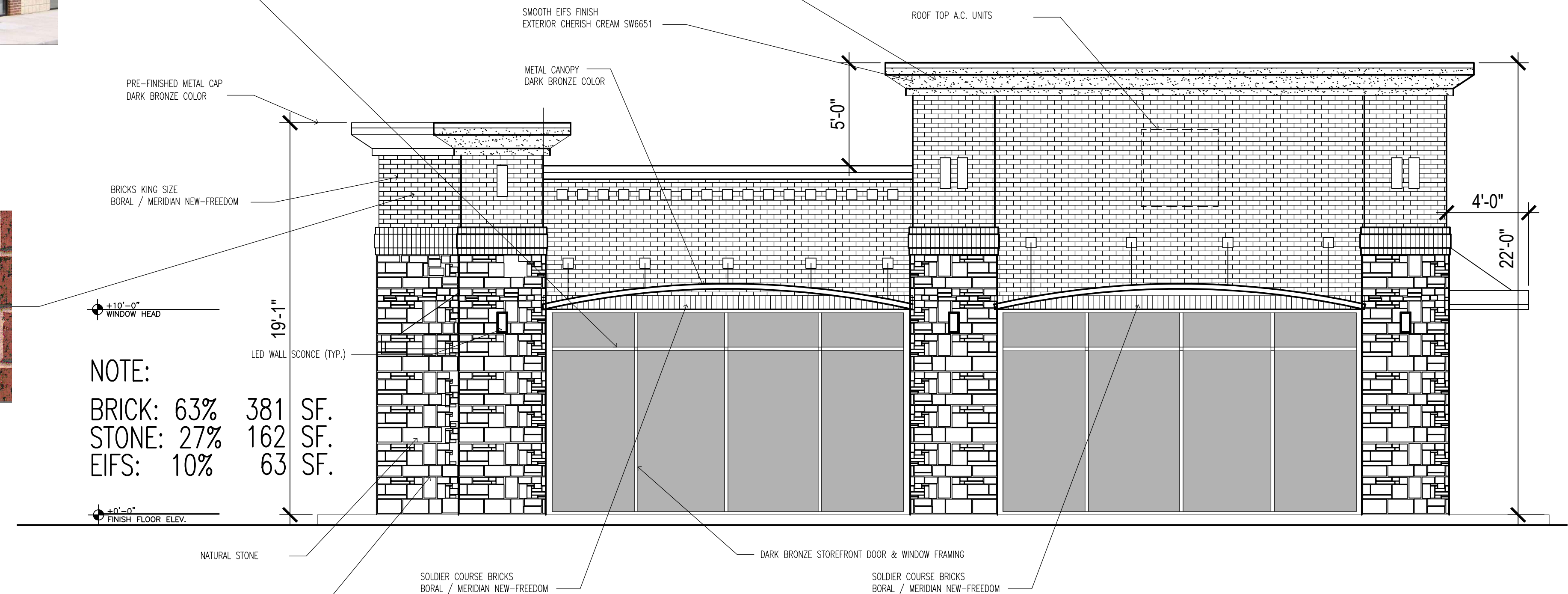
CHERISH CREAM SW6651 OR EQUAL



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL

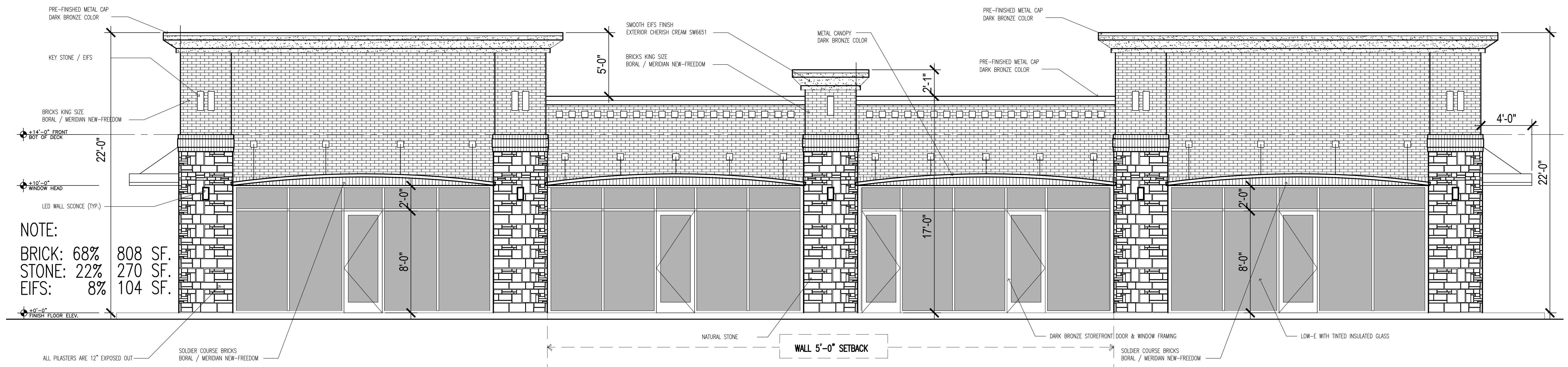


NATURAL LIME STONE OR EQUAL



**2 SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**

SCALE: 1/4" = 1'-0"

OWNER:  
CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1

600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

ARCHITECT OF THE RECORD:  
Fokredd Khondaker AIA, NCARB.  
**Oculus Architects, Inc.**  
14310 Rich Branch Dr.  
North Potomac, MD 20878  
Tel: (800) 609 4806



12/26/2022

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 75051  
Tel: (817) 806 0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
EXTERIOR ELEVATIONS

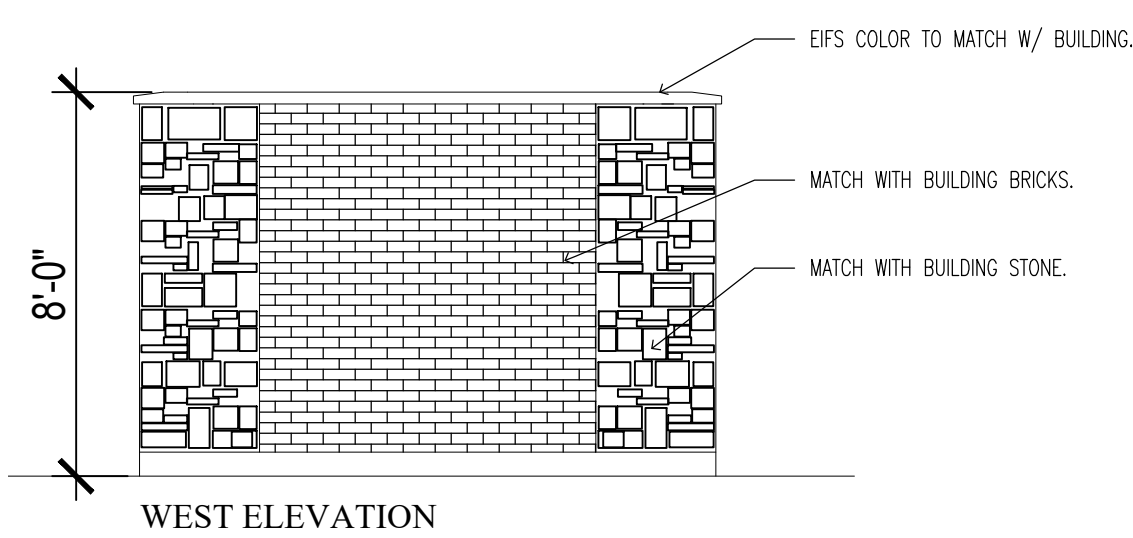
DATE:  
06.09.2021

SCALE:  
AS SHOWN

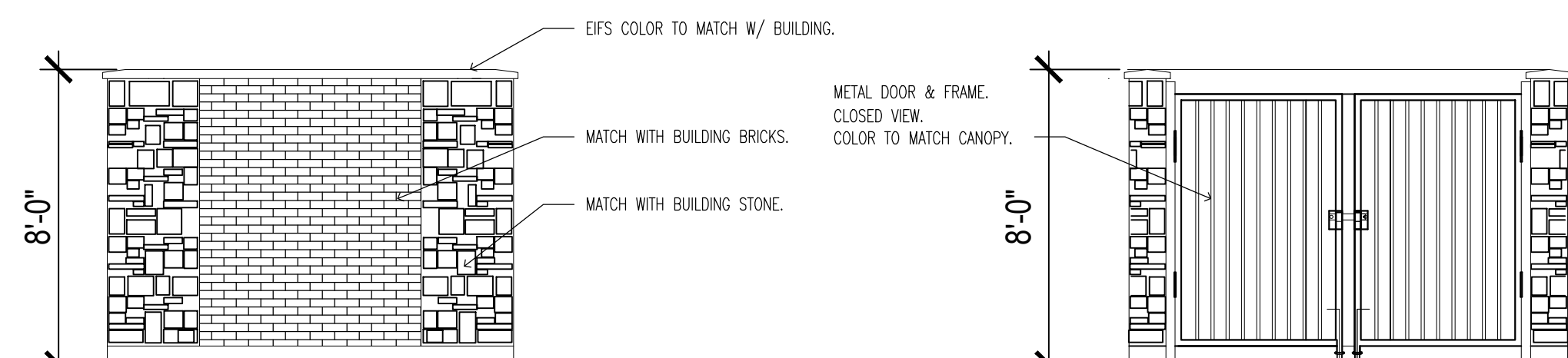
PROJECT #  
**H-2019-02**

SHEET NO:  
A501





WEST ELEVATION

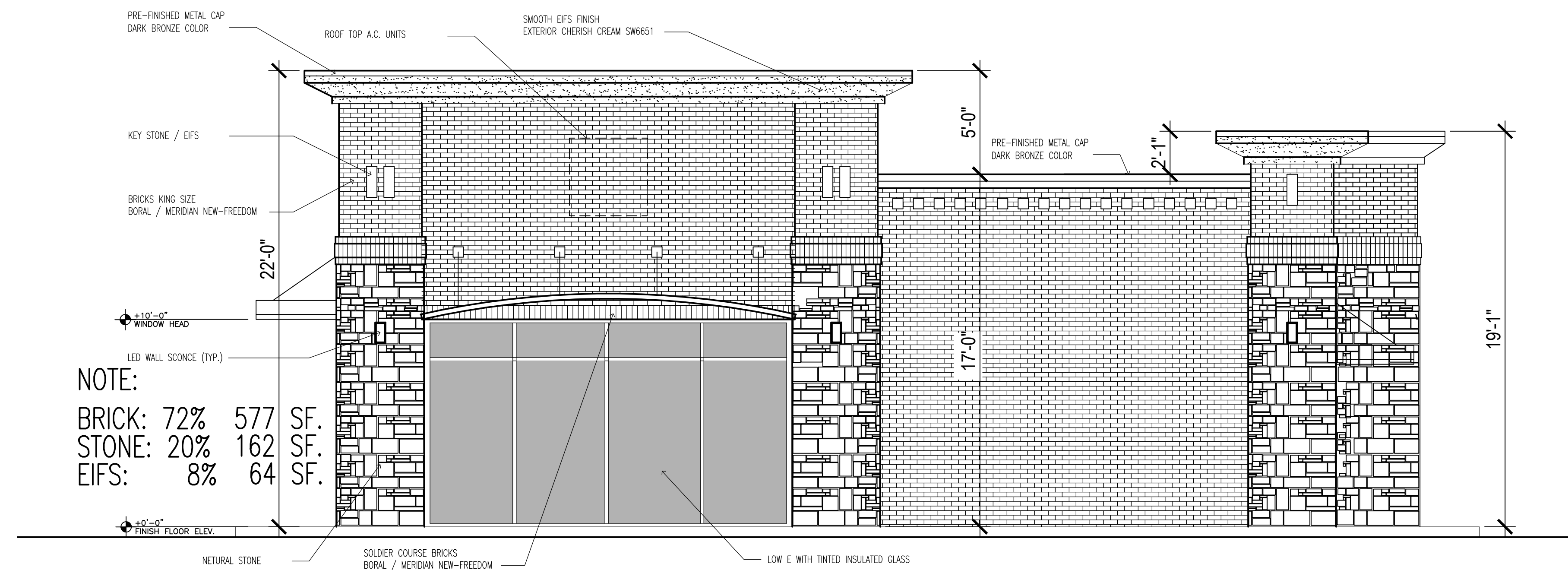


NORTH & SOUTH ELEVATIONS

EAST ELEVATION

### 3 DUMPSTER ELEVATIONS

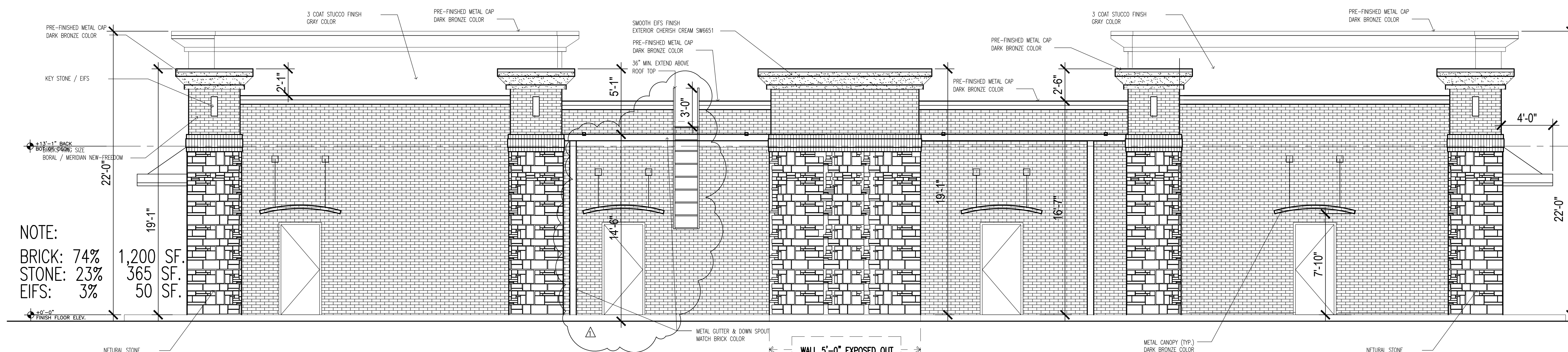
SCALE: 1/4" = 1'-0"



### 2 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:  
 BRICK: 72% 577 SF.  
 STONE: 20% 162 SF.  
 EIFS: 8% 64 SF.



### 1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:  
 BRICK: 74% 1,200 SF.  
 STONE: 23% 365 SF.  
 EIFS: 3% 50 SF.

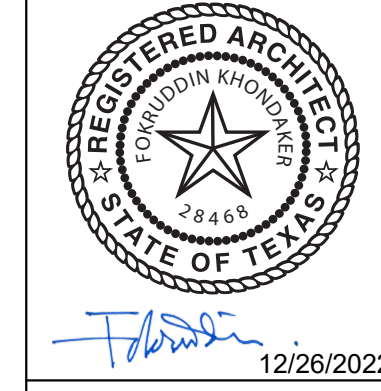
OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 RETAIL BUILDING  
 PHASE-1  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

OWNER CHANGE	01.28.22

ARCHITECT OF THE RECORD:  
 Fokruddin Khondaker AIA, NCARB  
**Oculus Architects, Inc.**  
 14310 Rich Branch Dr.  
 North Potomac, MD 20878  
 Tel. (800) 609-4806



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 545 Coventry Drive, Grapevine, Tx 75051  
 Tel. (817) 806-0811  
 E-mail: okm.helaluzzaman@gmail.com

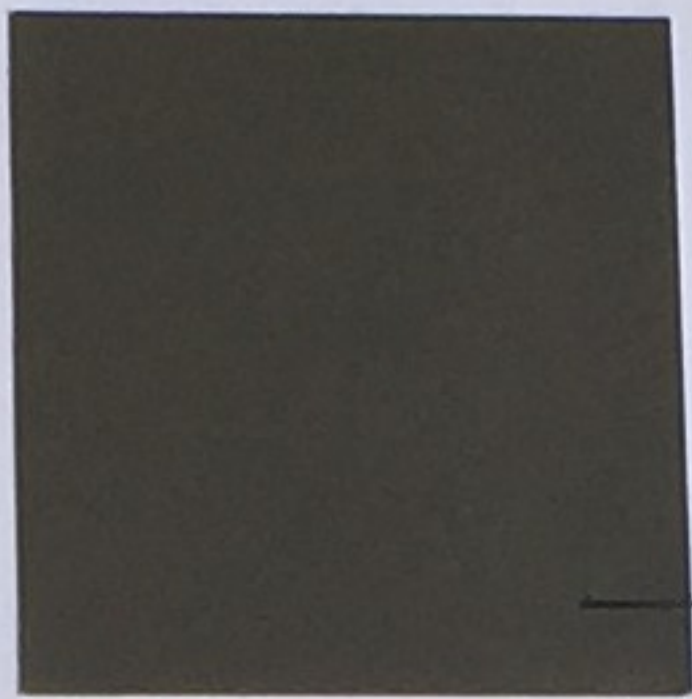
SHEET TITLE:  
 EXTERIOR ELEVATIONS

DATE: 06.09.2021	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO: A502

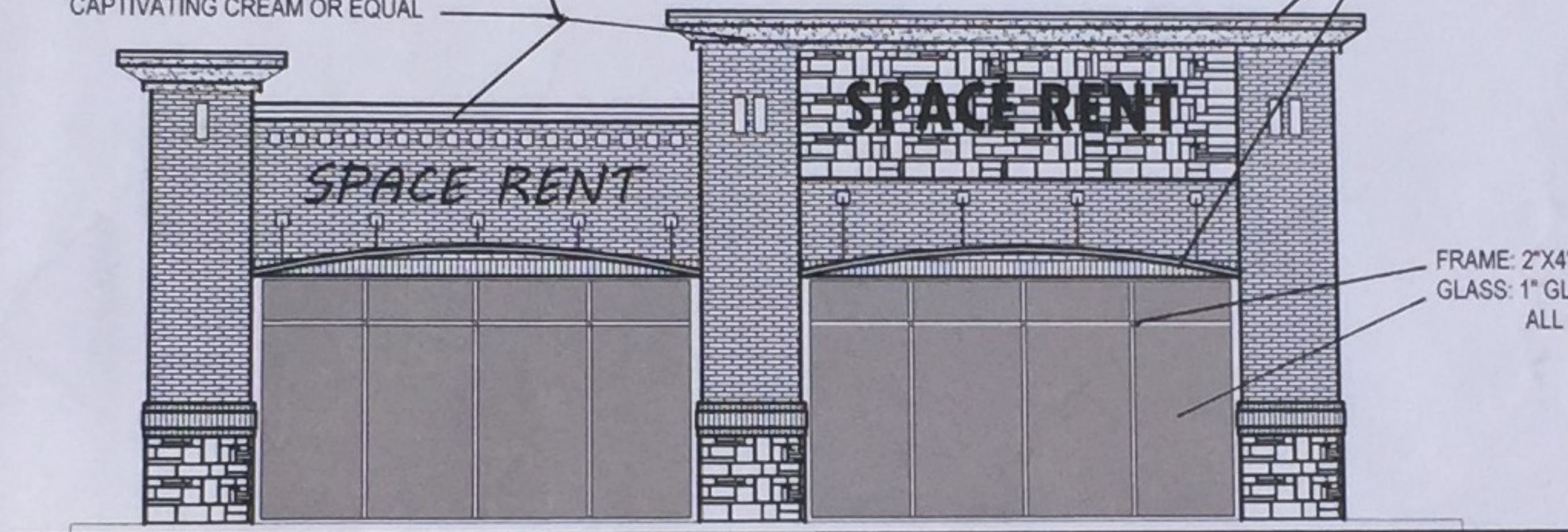




SW 6659  
CAPTIVATING CREAM OR EQUAL



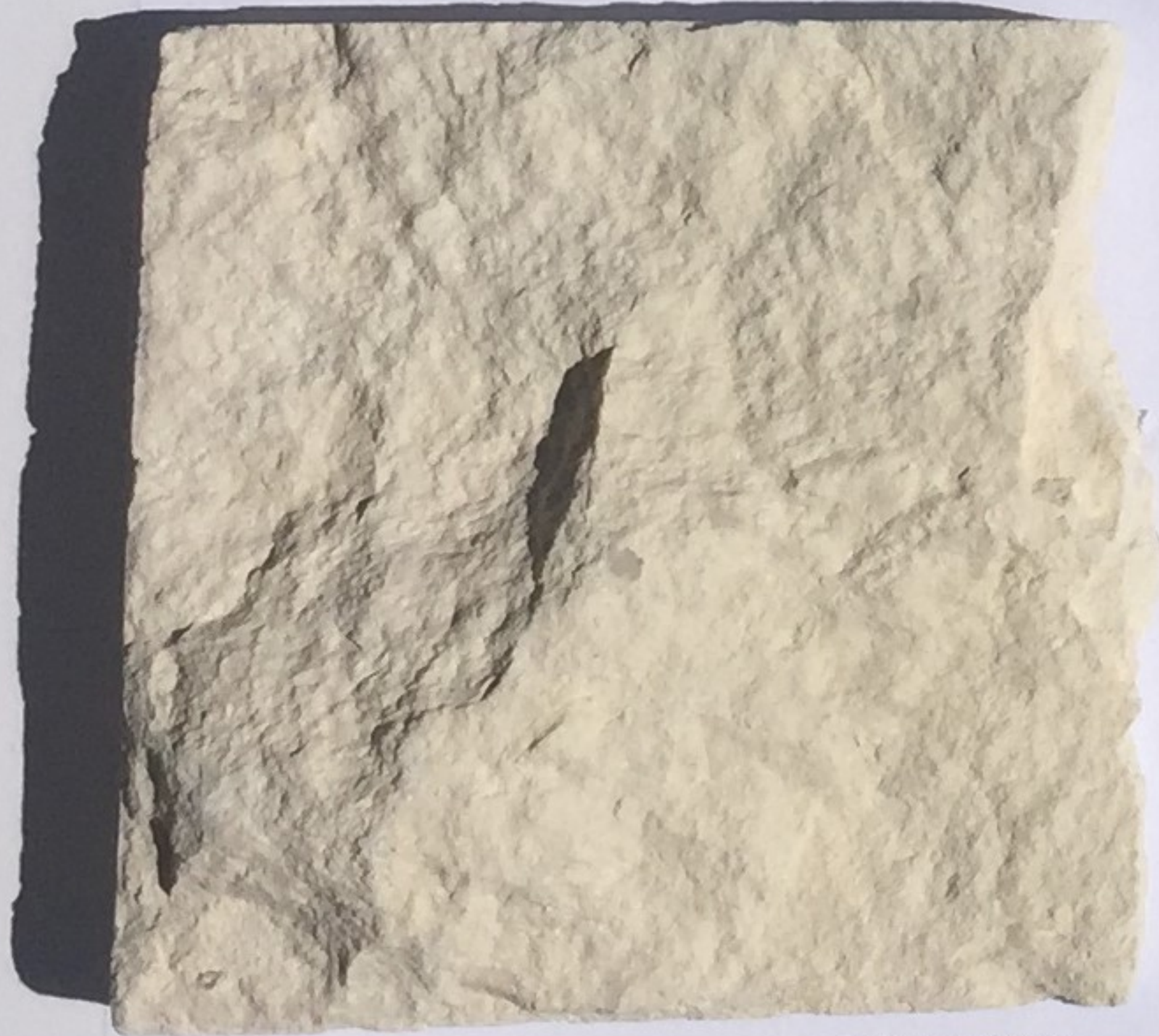
PRE-FINISHED METAL CAP & CANOPY  
DARK BRONZE



FRAME: 2"x4" (DARK BRONZE)  
GLASS: 1" GLAZING (1/4"-1/2"-1/4")  
ALL TEMPERED & TINTED GLASS



PUBLIC ROAD SIDE ELEVATION



AUSTIN LIME STONE OR EQUAL



MERIDIAN NEW-FREEDOM OR EQUAL

OWNER:  
Abdul Latif Khan  
4152 Goodland Dr., Richardson, TX 75082

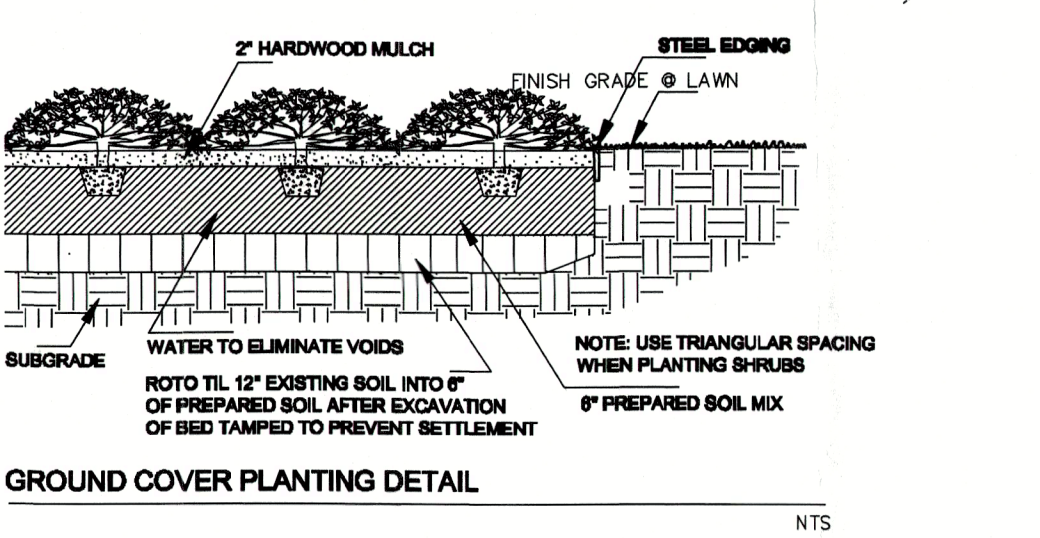
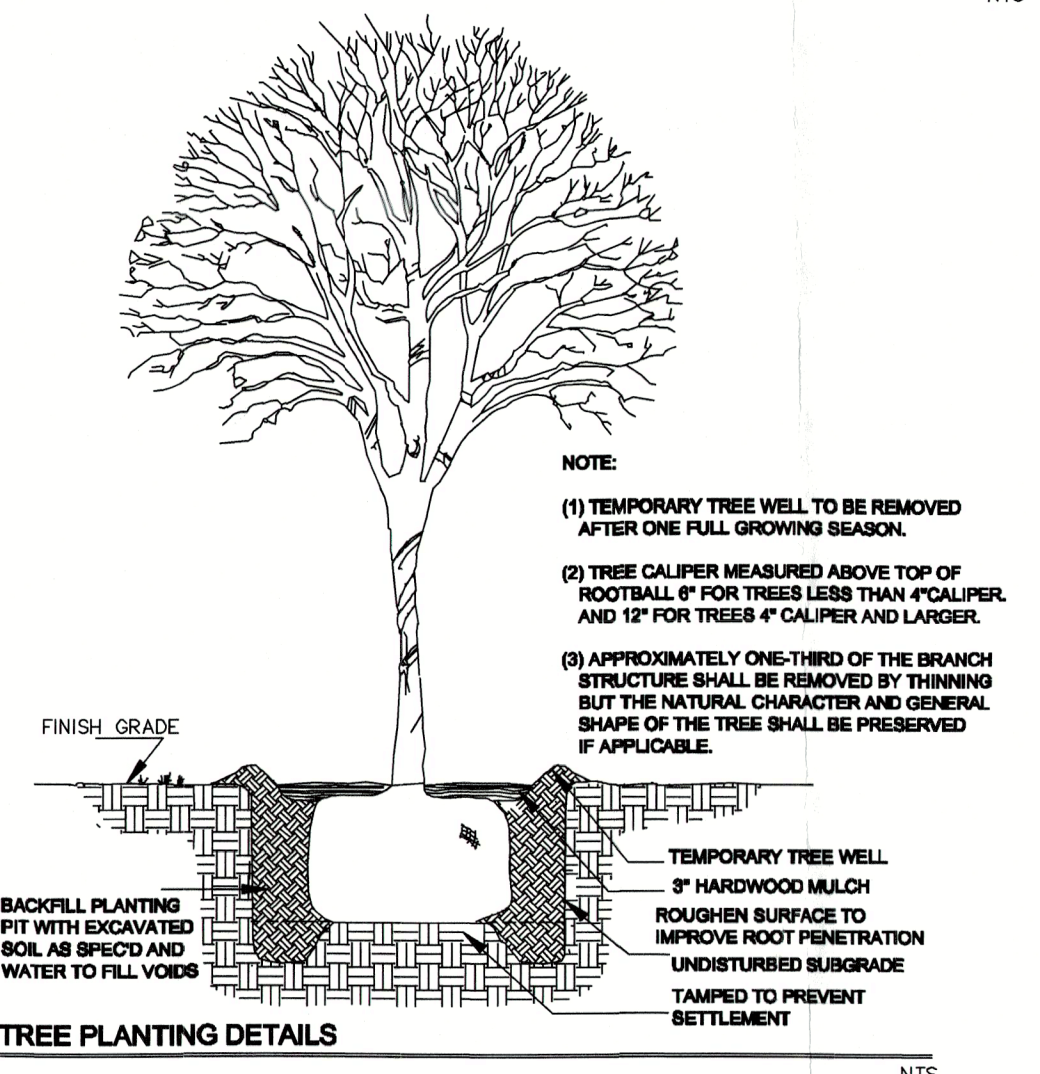
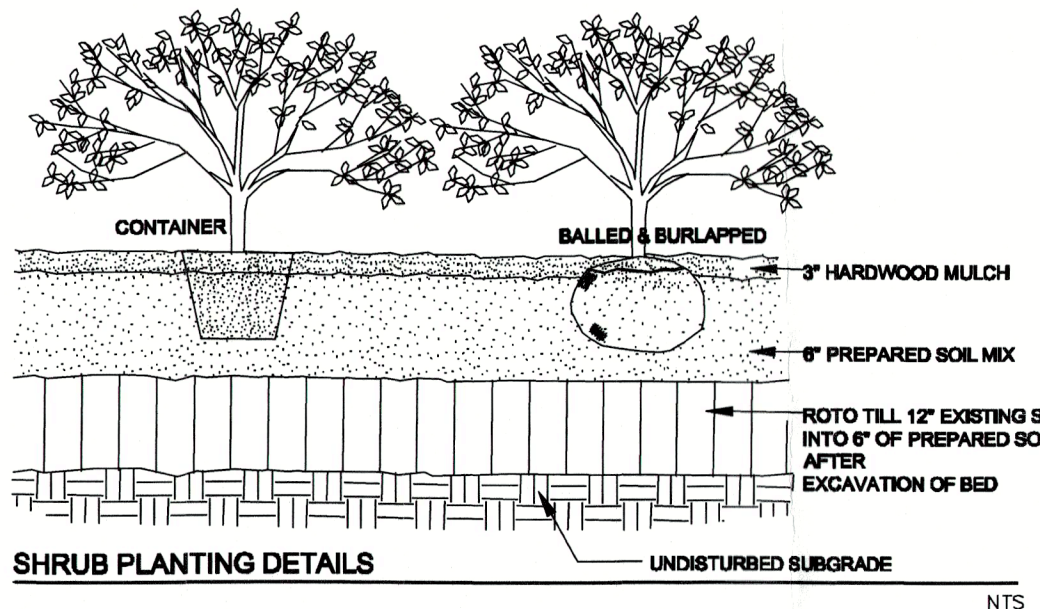
PROJECT:  
RETAIL BUILDING  
PHASE-1

APPLICANT:  
Ahmed Helaluzzaman

amazing o  
Commercial & Residential  
1461 Country Drive, Suite 100  
Dallas, TX 75243  
Phone: 972-382-1111  
Email: ahmed.helaluzzaman@gmail.com

PROJECT N  
RETAIL BU  
CASE NUM





**planting notes**

1. USE 1/2" X 1/2" STEEL EDGING (PAINTED GREEN).
2. USE 4" "SOOD EARTH" OR EQUIVALENT PLANTING MIX FOR BED PREPARATIONS. ROTOTILL BED MIX TO THE DEPTH OF 12" MINIMUM.
3. ALL THE LAWN AREAS TO BE HYDRATED/IRRIGATED. REPLACE ALL THE DAMAGED EXISTING LAWN AREAS AS NEEDED.
4. TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH, AFTER PLANTING OPERATIONS.
5. THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH PRESSURE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

**landscape area**

LOT AREA (PHASE 1): 81,029 SF (1.46 AC.)  
 LANDSCAPE AREA REQUIRED: 6,866 SF (8.4%)  
 PROVIDED: 24,000 SF.  
 BLDG. AREA: 4,520 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 81.  
 SPACES PROVIDED: 81.

**planting requirement**

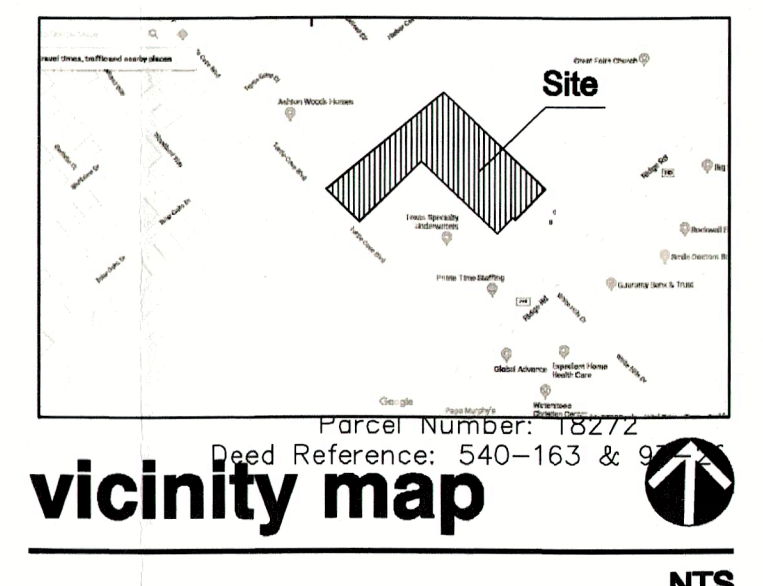
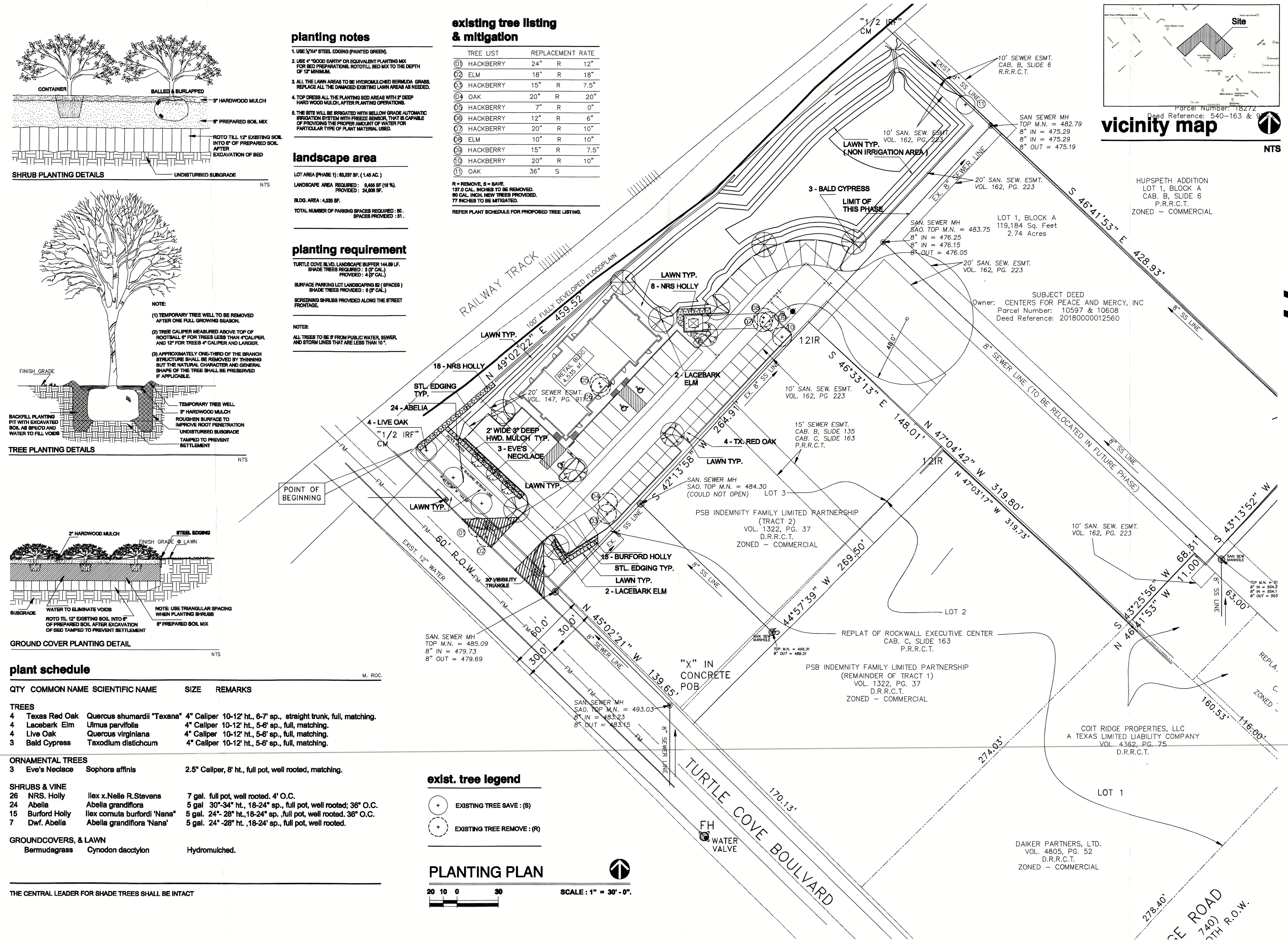
TURTLE COVE BLVD. LANDSCAPE BUFFER 144.00 LF.  
 SHADE TREES REQUIRED: 3 (2" CAL.)  
 PROVIDED: 4 (2" CAL.)  
 SURFACE PARKING LOT LANDSCAPING 62 (SPACES)  
 SHADE TREES PROVIDED: 6 (2" CAL.)  
 SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.

NOTE:  
 (1) TEMPORARY TREE WELL TO BE REMOVED AFTER ONE FULL GROWING SEASON.  
 (2) TREE CALIPER MEASURED ABOVE TOP OF ROOTBALL 4" FOR TREES LESS THAN 4" CALIPER AND 12" FOR TREES 4" CALIPER AND LARGER.  
 (3) APPROXIMATELY ONE-THIRD OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED IF APPLICABLE.

**existing tree listing & mitigation**

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24" R 12"	
02 ELM 18" R 18"	
03 HACKBERRY 15" R 7.5"	
04 OAK 20" R 20"	
05 HACKBERRY 7" R 0"	
06 HACKBERRY 12" R 6"	
07 HACKBERRY 20" R 10"	
08 ELM 10" R 10"	
09 HACKBERRY 15" R 7.5"	
10 HACKBERRY 20" R 10"	
11 OAK 36" S	

R = REMOVE, S = SAVE  
 10" CAL. INCHES TO BE REMOVED.  
 20" CAL. INCH. NEW TREES PROVIDED.  
 17 INCHES TO BE MITIGATED.  
 REFER PLANT SCHEDULE FOR PROPOSED TREE LISTING.



**aroids**  
 landscape architects  
 5907 Indian Hills drive, garland, Texas 75044. 214.403.2034. maasam2745@gmail.com

**CPM MASJID ( PHASE ONE )**  
**OWNER : CENTER FOR PEACE & MERCY, INC.**  
 600 TURTLE COVE BLVD.  
 ROCKWALL, TX. 75087.

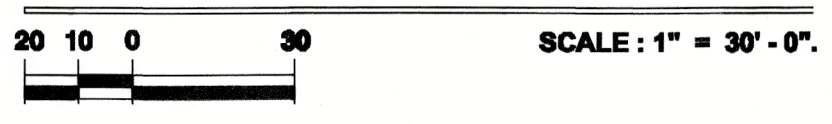
**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
4	Texas Red Oak	Quercus shumardii "Texana"	4" Caliper	10-12' ht., 6-7' sp., straight trunk, full, matching.
4	Lacebark Elm	Ulmus parvifolia	4" Caliper	10-12' ht., 5-6' sp., full, matching.
4	Live Oak	Quercus virginiana	4" Caliper	10-12' ht., 5-6' sp., full, matching.
3	Bald Cypress	Taxodium distichum	4" Caliper	10-12' ht., 5-6' sp., full, matching.
<b>ORNAMENTAL TREES</b>				
3	Eve's Necklace	Sophora affinis	2.5" Caliper, 8' ht.,	full pot, well rooted, matching.
<b>SHRUBS &amp; VINE</b>				
26	NRS. Holly	Ilex x. Nello R. Stevens	7 gal.	full pot, well rooted, 4' O.C.
24	Abelia	Abelia grandiflora	5 gal.	30"-34" ht., 18-24" sp., full pot, well rooted; 36" O.C.
15	Burford Holly	Ilex cornuta burfordi "Nana"	5 gal.	24"-28" ht., 18-24" sp., full pot, well rooted, 36" O.C.
7	Dwf. Abelia	Abelia grandiflora "Nana"	5 gal.	24"-28" ht., 18-24" sp., full pot, well rooted.
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydrated.

**exist. tree legend**

- (+) EXISTING TREE SAVE : (S)
- (-) EXISTING TREE REMOVE : (R)

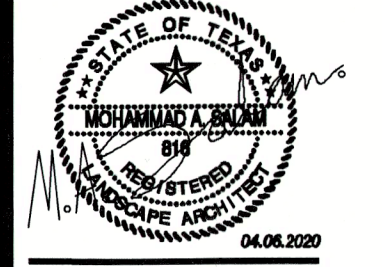
**PLANTING PLAN**



**revision**

△	JUL. 23,2020
△	SEP. 07,2020
△	JAN. 25,2021

**shown**  
 PLANTING PLAN & DETAILS



**date**  
 APR. 07, 2020  
**sheet**

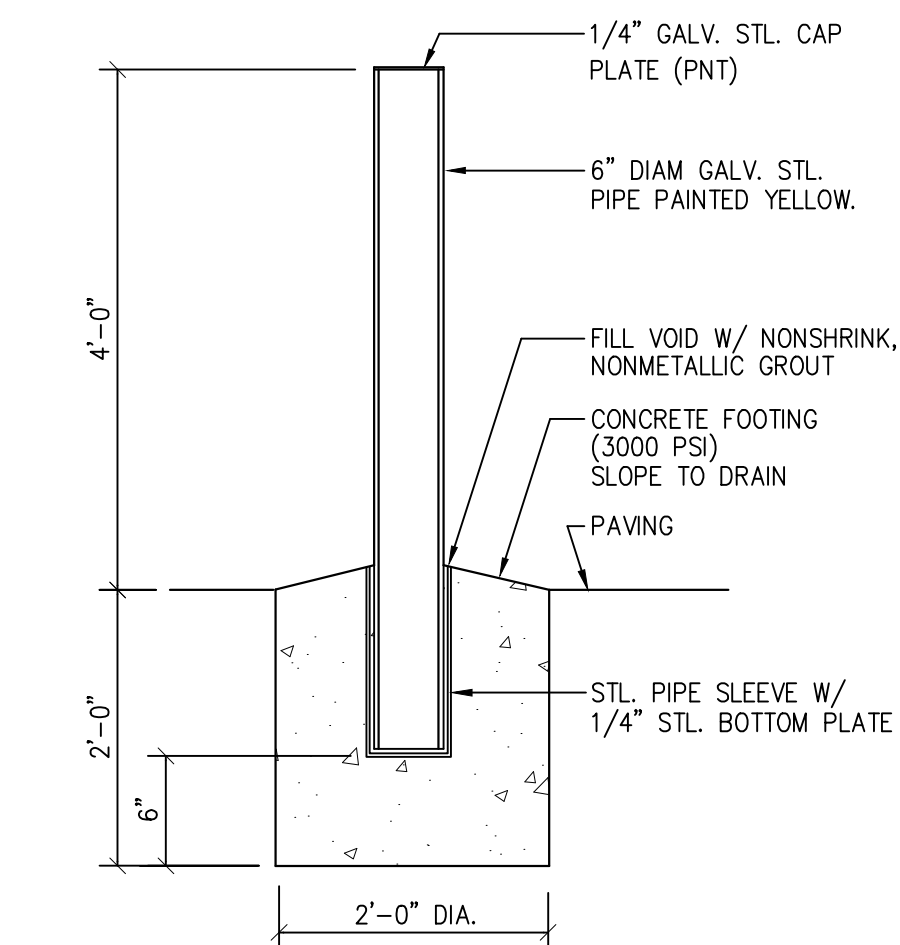
**LP.01**



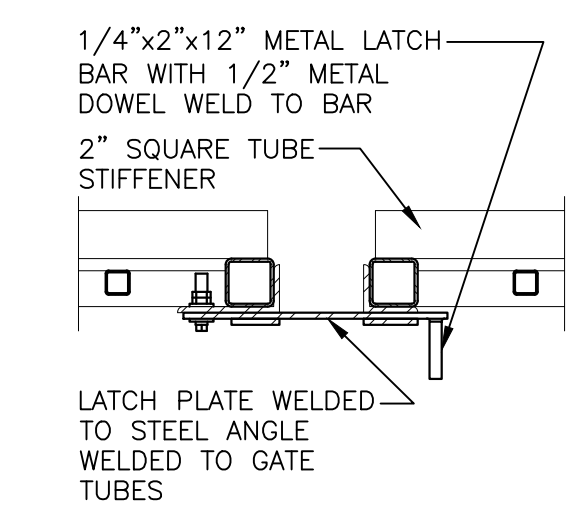
- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
  2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
  3. REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
  4. REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
  5. REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
  6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
  7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

**OWNER:**  
**CENTER FOR PEACE AND MERCY, INC.**  
**PHONE: 318-617-3491**  
**EMAIL: Peacemercyinc@gmail.com**

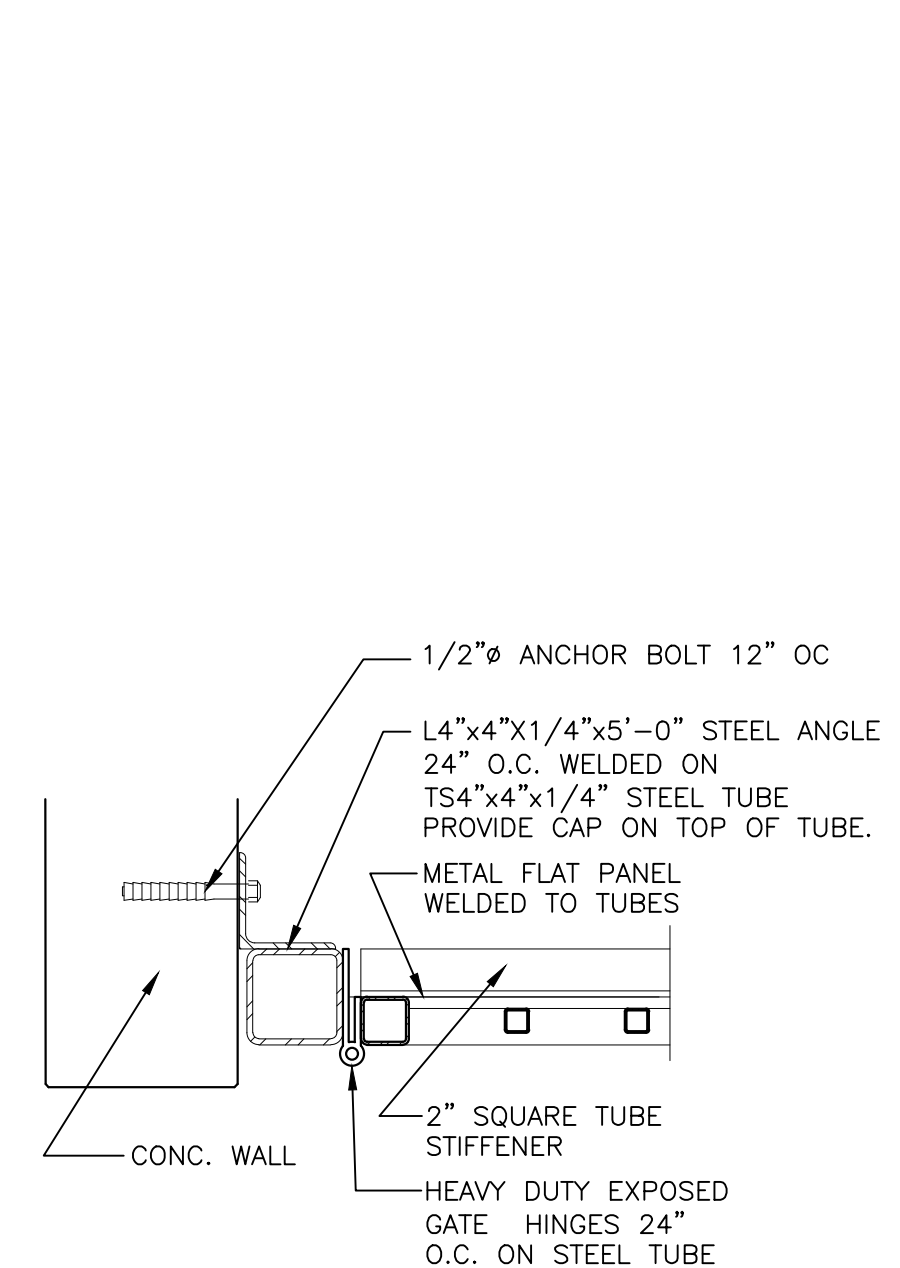
**PROJECT:**  
**RETAIL BUILDING**  
**PHASE-1**  
**600 Turtle Cove Boulevard, Rockwall, Tx 75087**



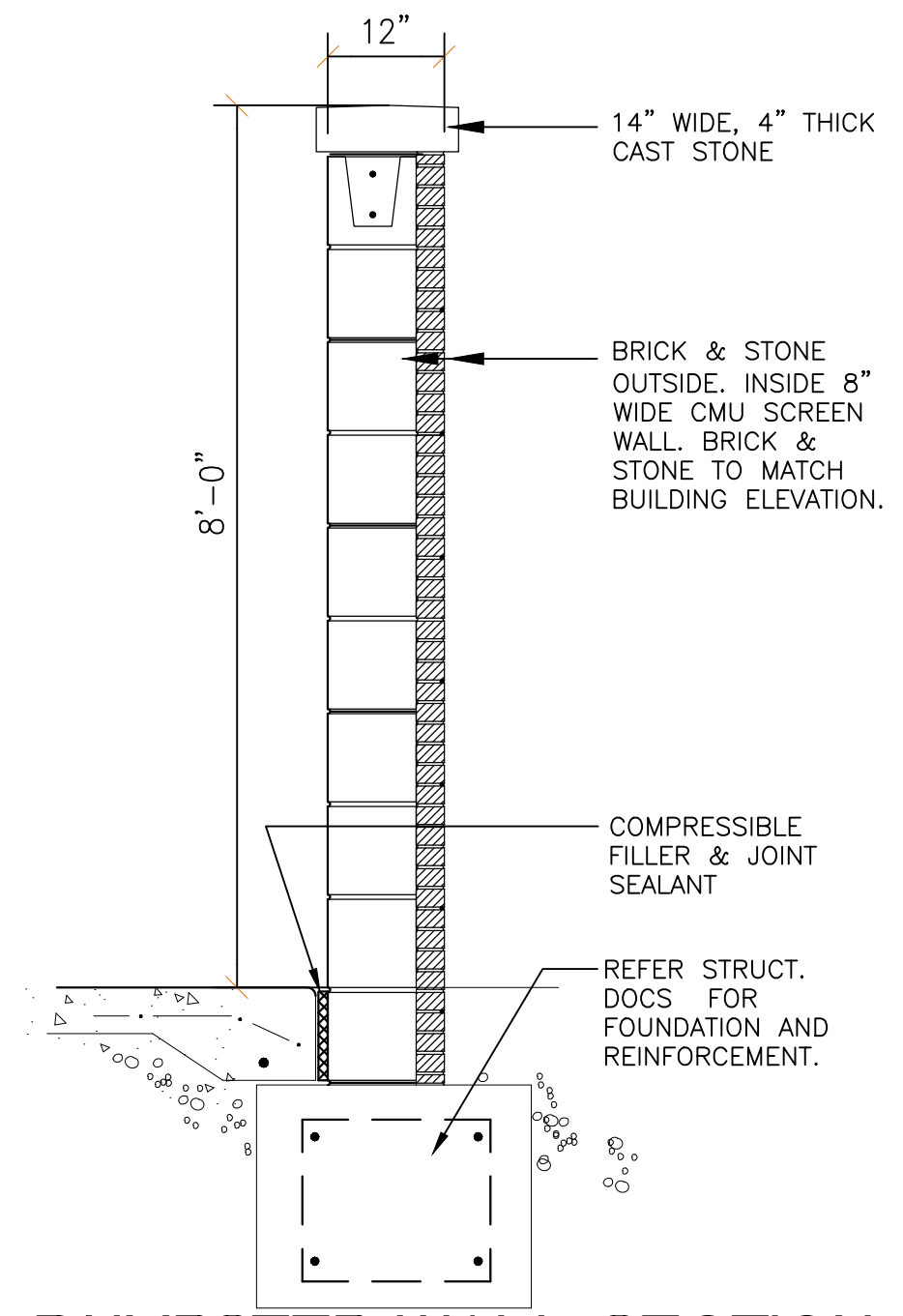
**06 PIPE BOLLARD DETAIL**  
 SCALE: 1/4" = 1'-0"



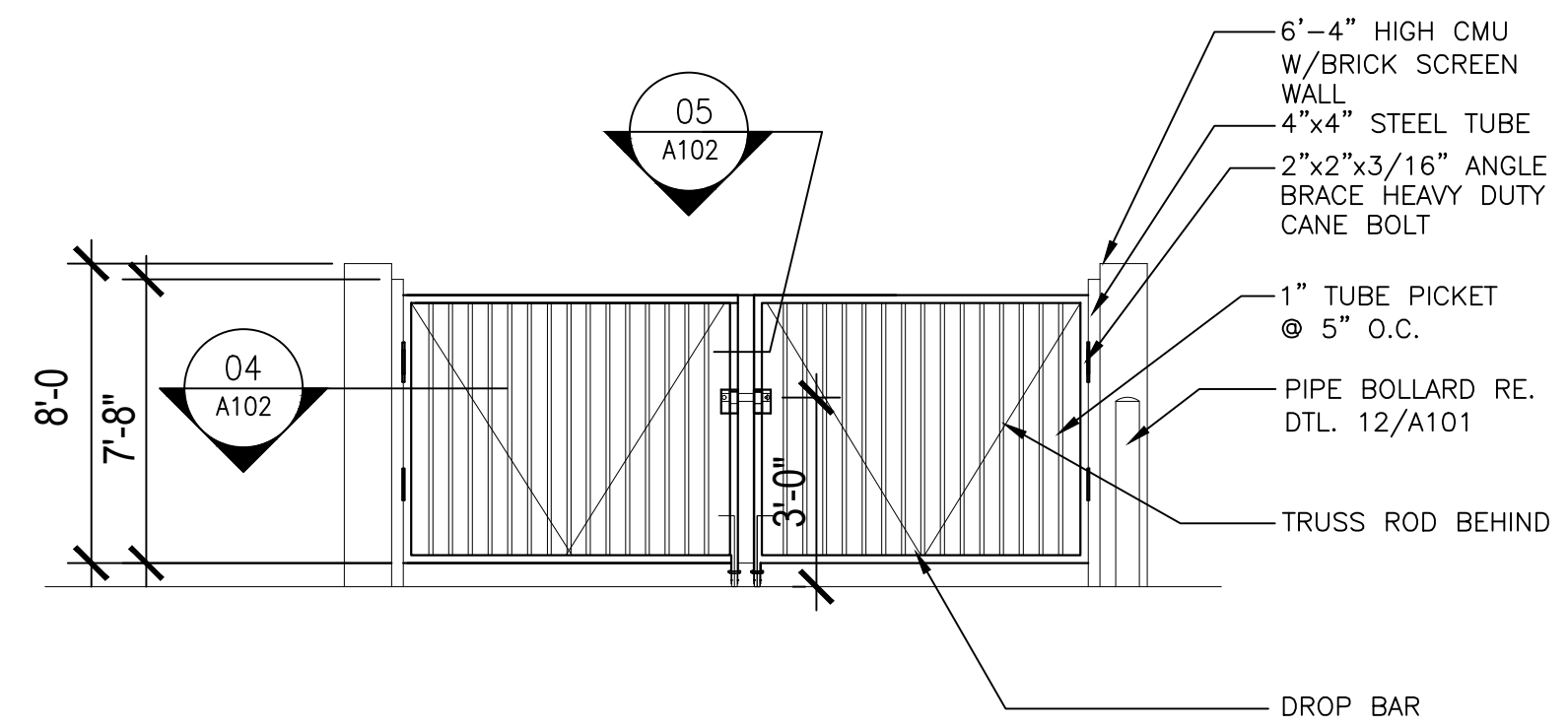
**05 GATE HINGE DETAIL**  
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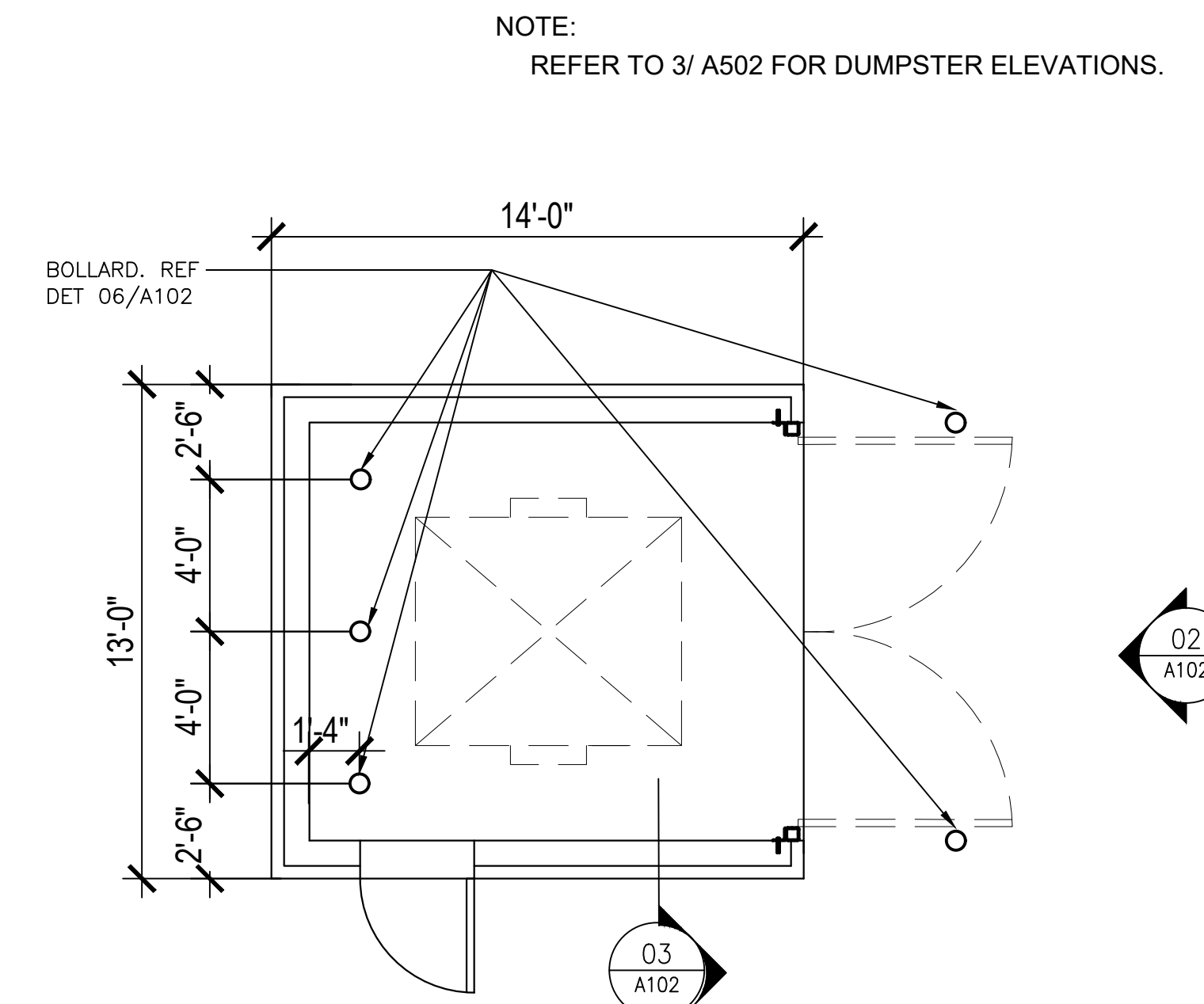
**04 GATE HINGE DETAIL**  
 SCALE: 1/4" = 1'-0"



**03 DUMPSTER WALL SECTION**  
 SCALE: 1/4" = 1'-0"



**02 DUMPSTER ENCLOSURE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**01 DUMPSTER ENCLOSURE PLAN**  
 SCALE: 1/4" = 1'-0"

**NOTE:**  
 REFER TO 3/ A502 FOR DUMPSTER ELEVATIONS.

**REVISIONS:**


**ARCHITECT OF THE RECORD:**  
 Fokruddin Khondaker AIA, NCARB  
**Oculus Architects, Inc.**  
 14310 Rich Branch Dr.  
 North Potomac, MD 20878  
 Tel: (800) 609 4806



12/26/2022  
**amazing concept**  
 residential & commercial projects  
 545 Coventry Drive, Grapevine, Tx 76051  
 Tel: (817) 806 0811  
 E-mail: okm.heluzzaman@gmail.com

**SHEET TITLE:**  
 SITE DETAILS

<b>DATE:</b> 06.09.2021	<b>SCALE:</b> AS SHOWN
<b>DRAWN:</b> A. HELALUZZAMAN	<b>DESIGNER:</b> A. HELALUZZAMAN
<b>PROJECT #</b> H-2019-02	
<b>SHEET NO.:</b> A102	



**WAHEED CONSULTING**  
 420 PARKSIDE COURT  
 MURPHY, TEXAS 75084  
 PH: 817-793-2010  
 FIRM #: F-6336

**OWNER:**  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

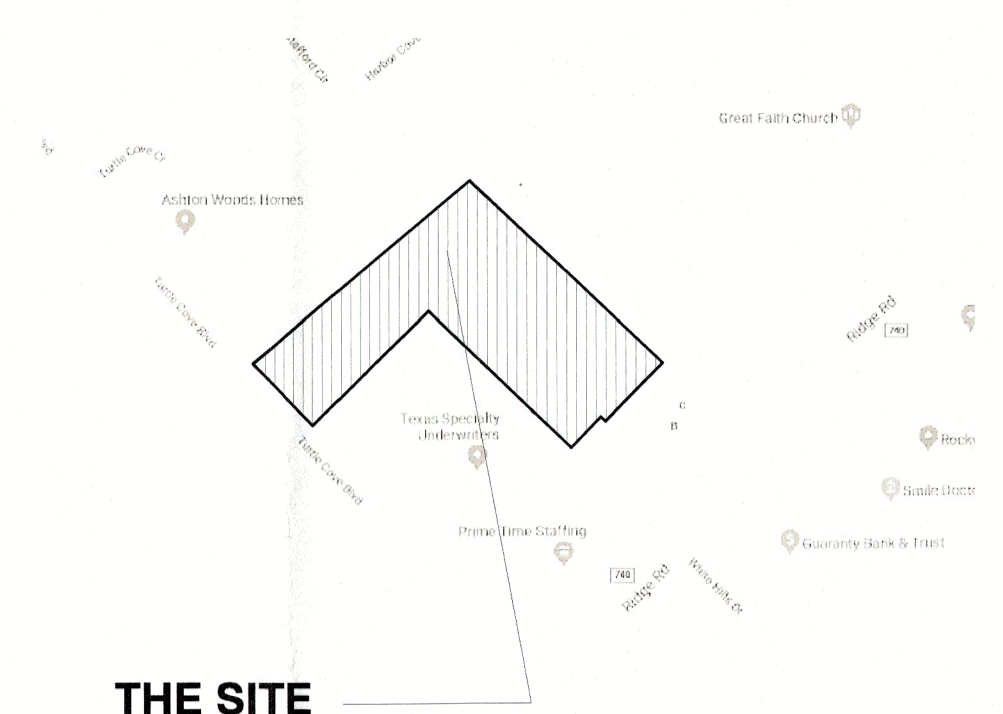
**PROJECT:**  
 RETAIL BUILDING  
 PHASE-1  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**amazing concept**  
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 545 Coventry Drive, Grapevine, Tx 76051  
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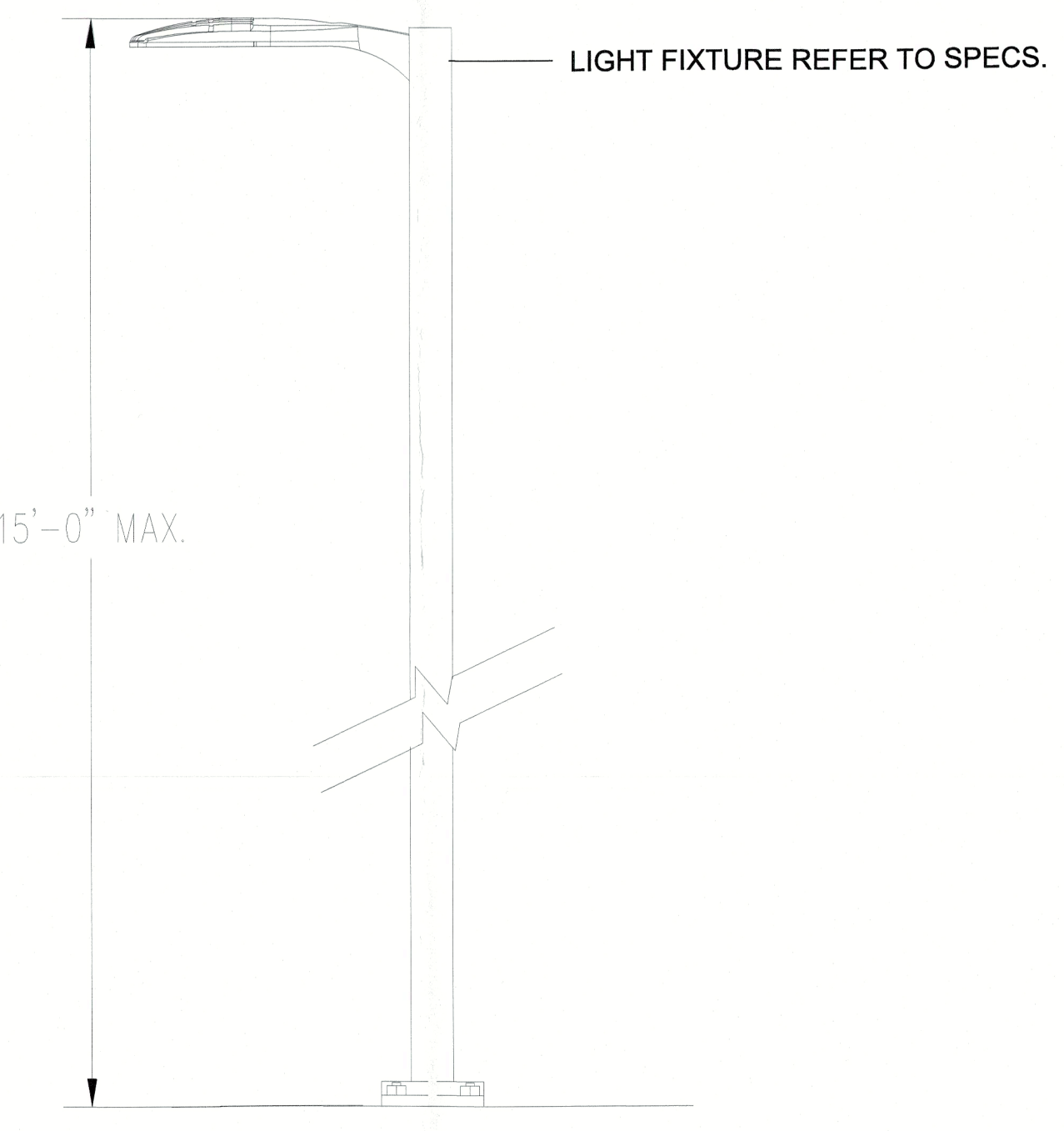
SHEET TITLE:  
 PHOTOMETRIC PLAN

DATE: 06.11.2019  
 SCALE: AS SHOWN  
 DRAWN: DESIGNER:  
 A. HELALUZZAMAN  
 PROJECT # **H-2019-02**  
 SHEET NO: **ESP**

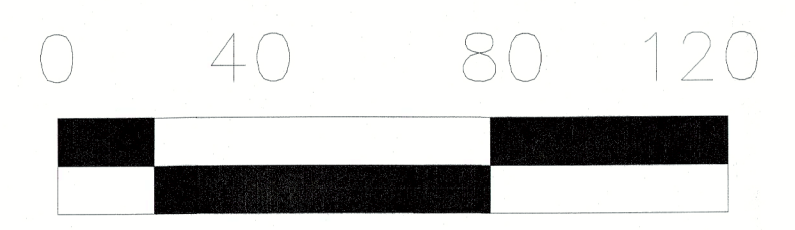
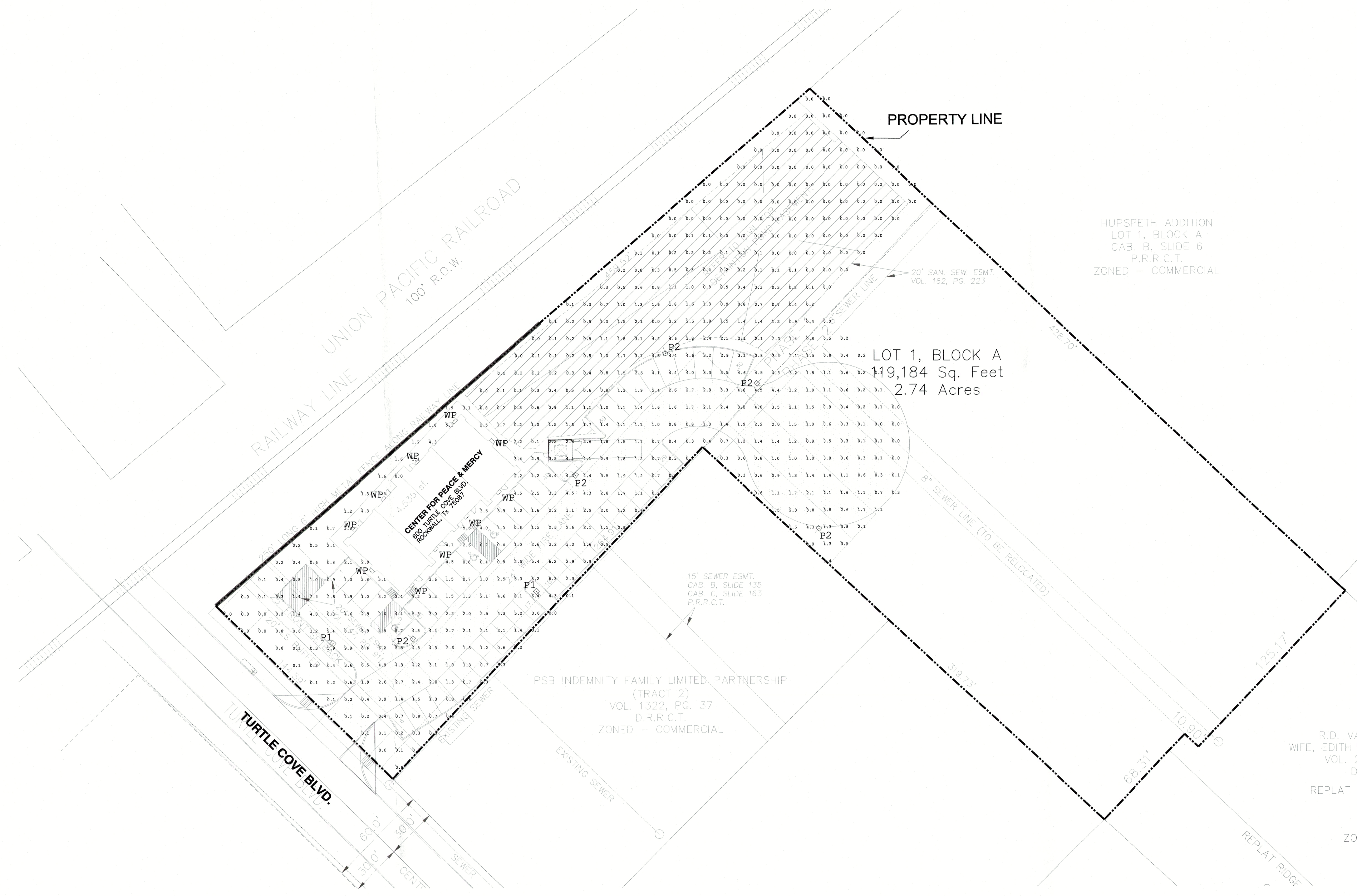


**THE SITE**  
 600 TURTLE COVE DR.  
 ROCKWALL, TX 75087

**02 VICINITY MAP**  
 SCALE: 1"=40'-0"



**03 TYPICAL SITE POLE**  
 SCALE: N.T.S.



**01 PHOTOMETRIC PLAN**  
 SCALE: 1"=40'-0"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	150/4 = 37.5 (SAY 38)
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	38+12 = 50
TOTAL PARKING PROVIDED	52 INCLUDING 3 ADA

Calculation Summary							
Label	Qty	CalcType	Units	Avg	Max	Min	Avg/Min
Free Grid		Illuminance	Fc	1.51	9.8	0.0	N.A.

Luminaire Schedule						
LABEL	Qty	Symbol	MANUFAC	Description	Lum. Lumens	Lum. Watts
P1	2	☐	Lithonia Lighting	DSX1 LED P3 50K BLC MVOLT	10439	102
P2	5	☐	Lithonia Lighting	DSX1 LED P3 50K T5M MVOLT	13218	102
WP	10	☐	Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24

CASE NO.: SP2019-014

